

GENERAL NOTES

VICINITY MAP

SINGLE FAMILY ADDITION

PAEK RESIDENCE

2215 80TH AVE SE

MERCER ISLAND, WA 98040

PROJECT PAEK RESIDENCE

ADDRESS 2215 80th Ave SE Mercer Island, WA 98040

CLIENT Timothy & Elen Paek

TEAM

DATA

SHEET INDEX

CLIENT:

TIMOTHY & ELLEN PAEK 2215 80TH AVE SE MERCER ISLAND, WA 98040

LEGAL DESCRIPTION: MERCER PARK, Plat Block: 21, Plat Lot: 3-4
PARCEL NUMBER: 545230-2145
CITY OF MERCER ISLAND
CITY OF MERCER ISLAND
SE-1-24-4
R-8.5
8,810 SF

ARCHITECT OF RECORD:

MZA_PS 600 108TH AVE NE, SUITE 108 BELLEVUE, WA 98004

SURVEYOR:

TERRANE 10801 MAIN STREET, SUITE 102 BELLEVUE, WA 98004

STRUCTURAL:

Swenson Say Faget 2124 3rd Ave, Suite 100 Seattle, WA 98121

LANDSCAPE ARCHITECT:

ANR Landscape Design 22310 98th Ave W Edmonds, WA 980120

CIVIL:

ESM CONSULTING ENGINEERS, LLC 33400 8th Ave, S, Suite 205 Federal Way, WA 98003

Environment:

Altman Oliver Associates, LLC PO Box 578 Carnation, WA 98014

Table with columns: STRUCTURE SETBACKS, BUILDING HEIGHT NOTES, and MAXIMUM GROSS FLOOR AREA.

Table with columns: A0.0 COVER SHEET, A0.1 GENERAL CODE NOTES, A0.2 GENERAL & ENERGY CODE NOTES, etc.

DEFERRED SUBMITTALS

DESIGN CODE

MECHANICAL: 1. THE MECHANICAL WORK FOR THE PROJECT SHALL BE PERFORMED AS DESIGN-BUILD. THE GENERAL CONTRACTOR SHALL SUBMIT WITH THE BID A PROPOSED HVAC AND PLUMBING DRAWING THAT COORDINATES WITH THE ARCHITECTURAL DRAWINGS.

HANDRAIL AND GUARDRAIL SYSTEMS: 1. THE HANDRAIL AND GUARDRAIL DESIGNS AND ENGINEERING FOR THE PROJECT SHALL BE PERFORMED AS DESIGN-BUILD. THE GENERAL CONTRACTOR SHALL SUBMIT WITH THE BID PROPOSED HANDRAIL AND GUARDRAIL DRAWINGS THAT COORDINATE WITH THE ARCHITECTURAL DRAWINGS AND INTENT.

DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND BEEN FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING.

2015 INTERNATIONAL RESIDENTIAL CODE WITH WASHINGTON STATE AMENDMENTS

2015 INTERNATIONAL FIRE CODE
2015 INTERNATIONAL MECHANICAL CODE
2015 INTERNATIONAL FUEL GAS CODE
2015 UNIFORM PLUMBING CODE

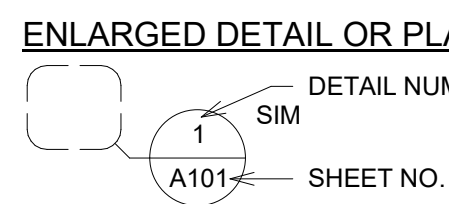
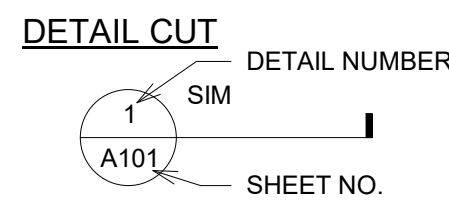
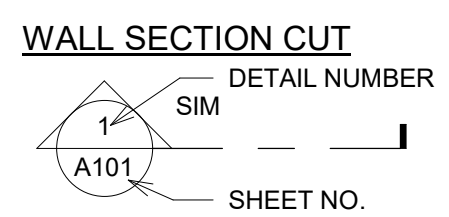
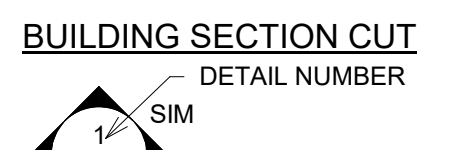
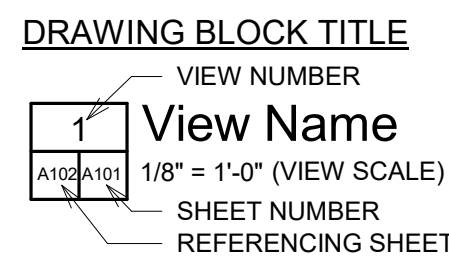
2015 WASHINGTON STATE ENERGY CODE
WASHINGTON CITIES ELECTRICAL CODE

ABBREVIATION

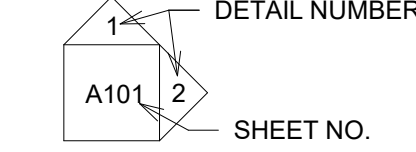
LEGEND OF SYMBOLS

Table of symbols and abbreviations including symbols for @, &, <, etc., and abbreviations for A.B.E., A/C, ADJ, etc.

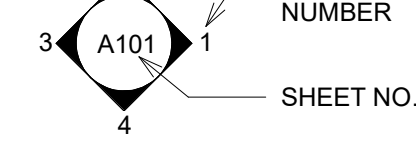
VIEW REFERENCES



EXTERIOR ELEVATIONS



INTERIOR ELEVATIONS



OBJECT REFERENCES

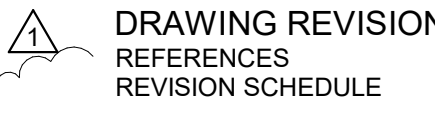
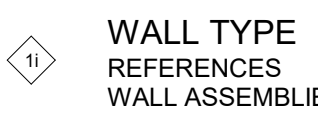
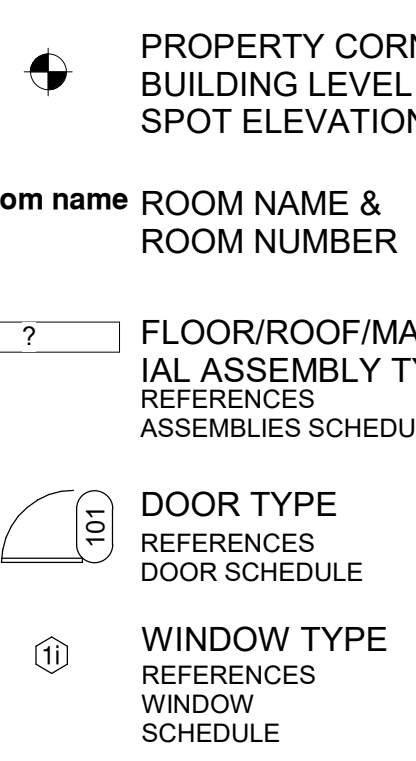


Table with columns: No., Comment, Date. Row 1: 1, Comment 1, 08/16/19

REVISIONS

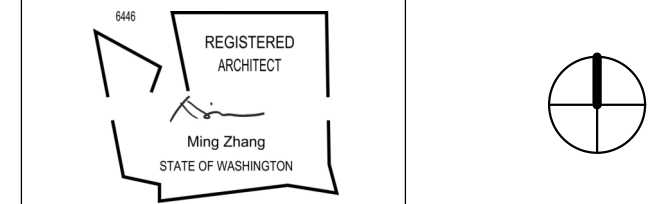
DRAWING STATUS

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. ALL DIMENSIONS ARE SHOWN IN IMPERIAL.



600 108th Ave NE Suite 108 Bellevue WA 98004 425.559.7888 contact@mza.com

STAMP



DRAWING TITLE

COVER SHEET

DRAWN KNS

DESIGNED

DATE 08/16/19

GRAPHIC SCALE 1/4" = 1'-0"

PROJECT NO. 18-009

DRAWING NO. A0.0

REVISION NO. 1

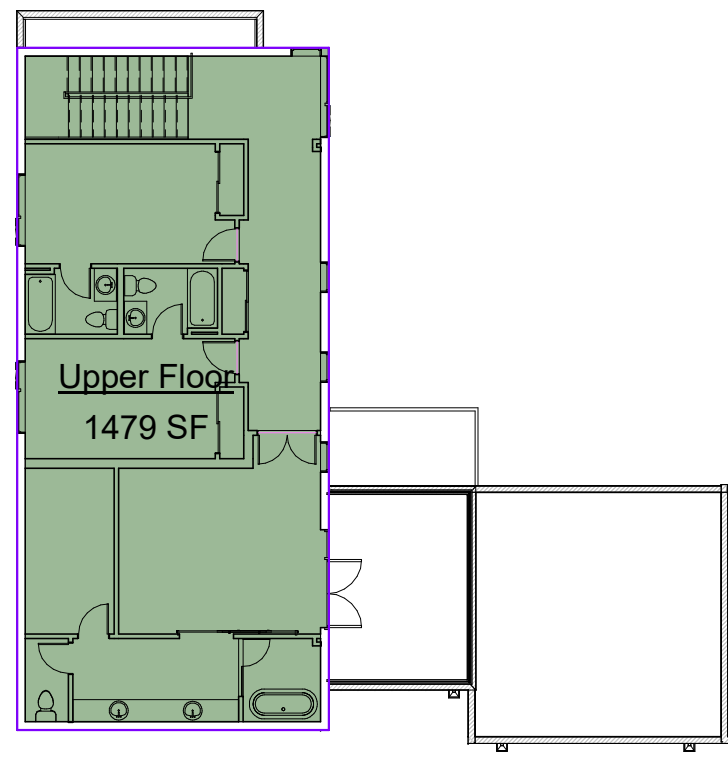
PERMITS UNDER SEPERATE REVIEW

-ACCESSORY DWELLING UNIT (330 SF.)

-CRITICAL AREAS DETERMINATION

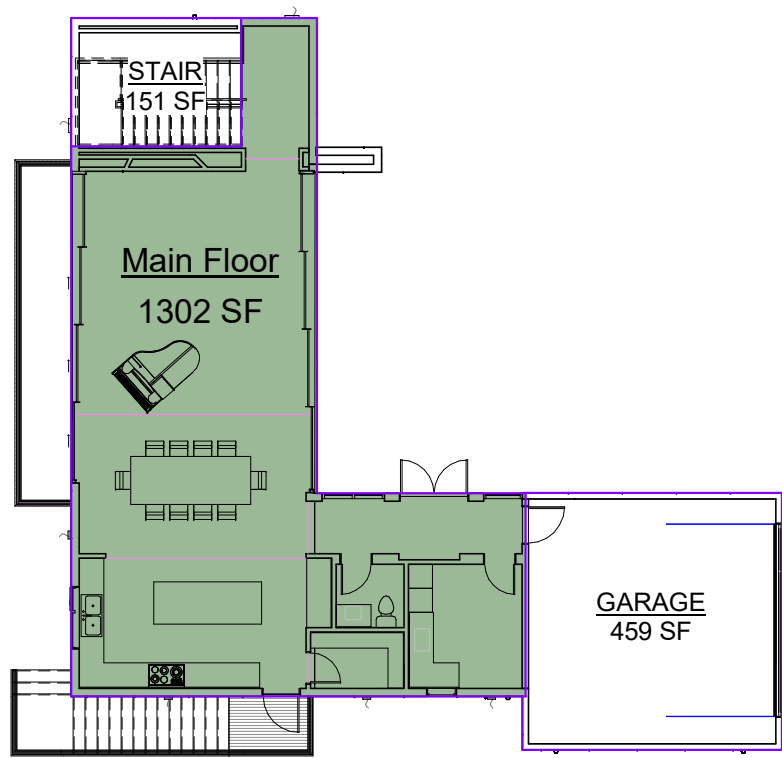
24"x36" ARCH D - SHEET SIZE

GROSS FLOOR AREA



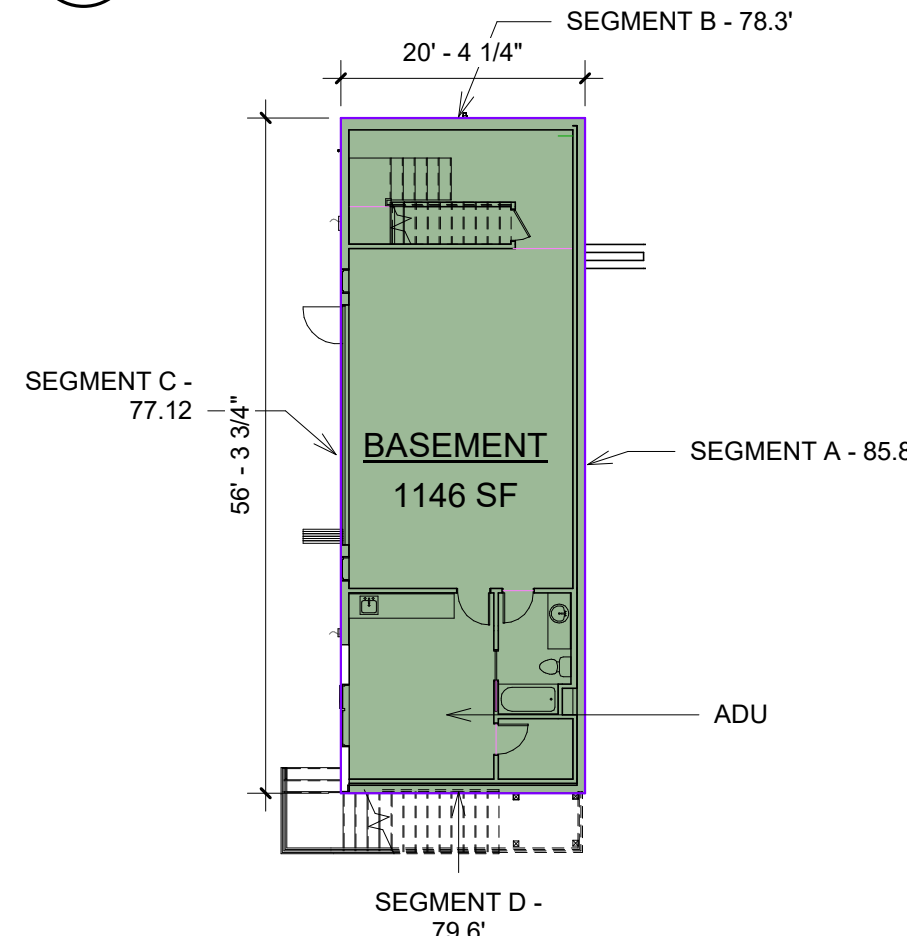
3 UPPER LEVEL

Scale: 1/16" = 1'-0"



2 ENTRY LEVEL

Scale: 1/16" = 1'-0"



SEGMENT	LENGTH	WALL HT	MID-PT GRADE HT	%	WTD
A	35.25	9'	9'	100%	35.25
B	20.083	9'	78.3-77.2=1.1'	12.2%	2.45
C	35.25	9'	77.2-77.2=0'	0%	0
D	20.083	9'	79.6-77.2=2.4'	26.7%	5.36
TOTAL	110.667				43.06

WTD / ACTUAL LENGTH .03891
 CONDITIONED AREA 1125 SF
 AREA COUNTING TOWARD GROSS 687 SF

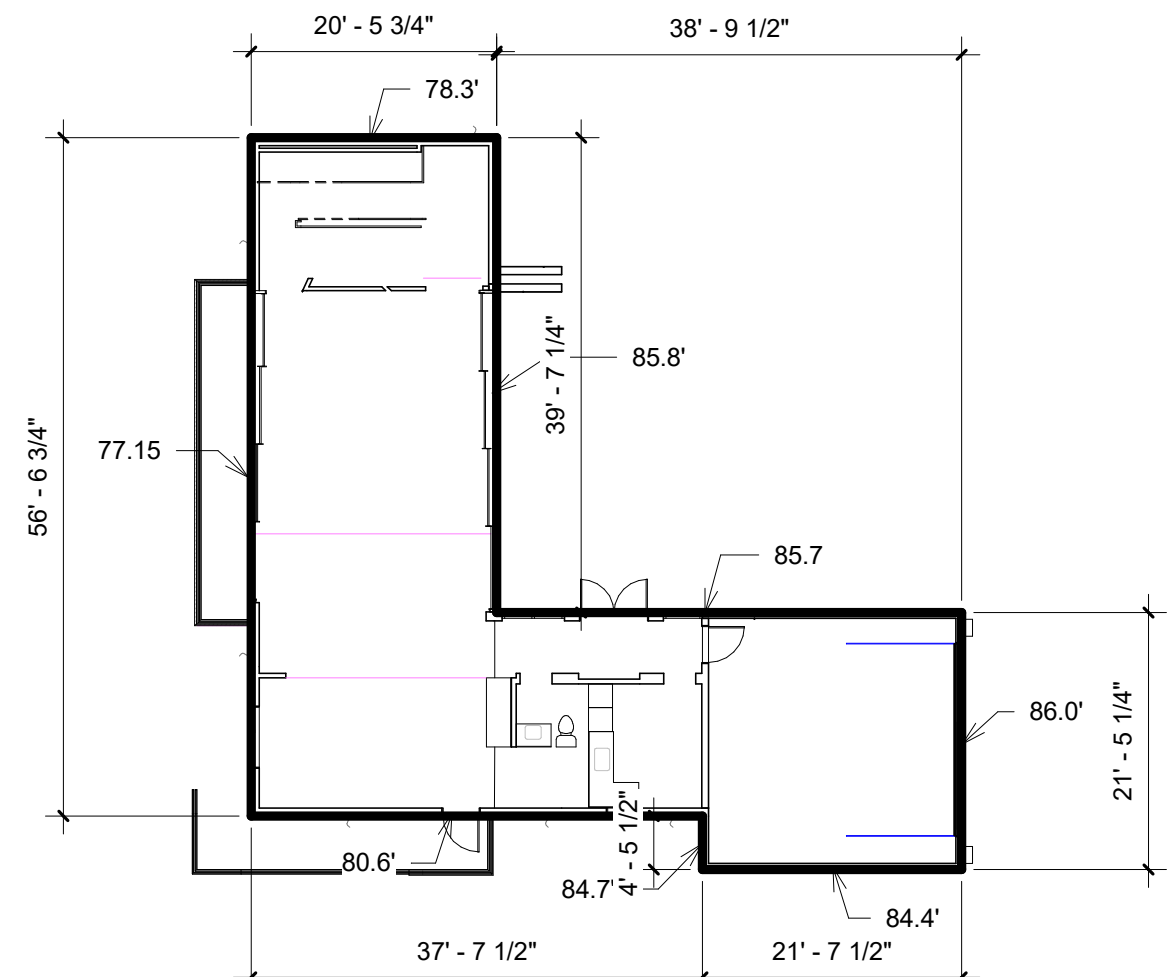
1 BASEMENT LEVEL

Scale: 1/16" = 1'-0"

TOTAL GROSS FLOOR AREA			
LEVEL	GROSS AREA	EXCLUDED AREA	NET GROSS AREA
UPPER	1479SF	0	1479SF
ENTRY	1453SF	151SF	1302SF
GARAGE	459SF	459SF	0
BASEMENT	1146SF	0	687SF
	4537SF	610SF	3927SF

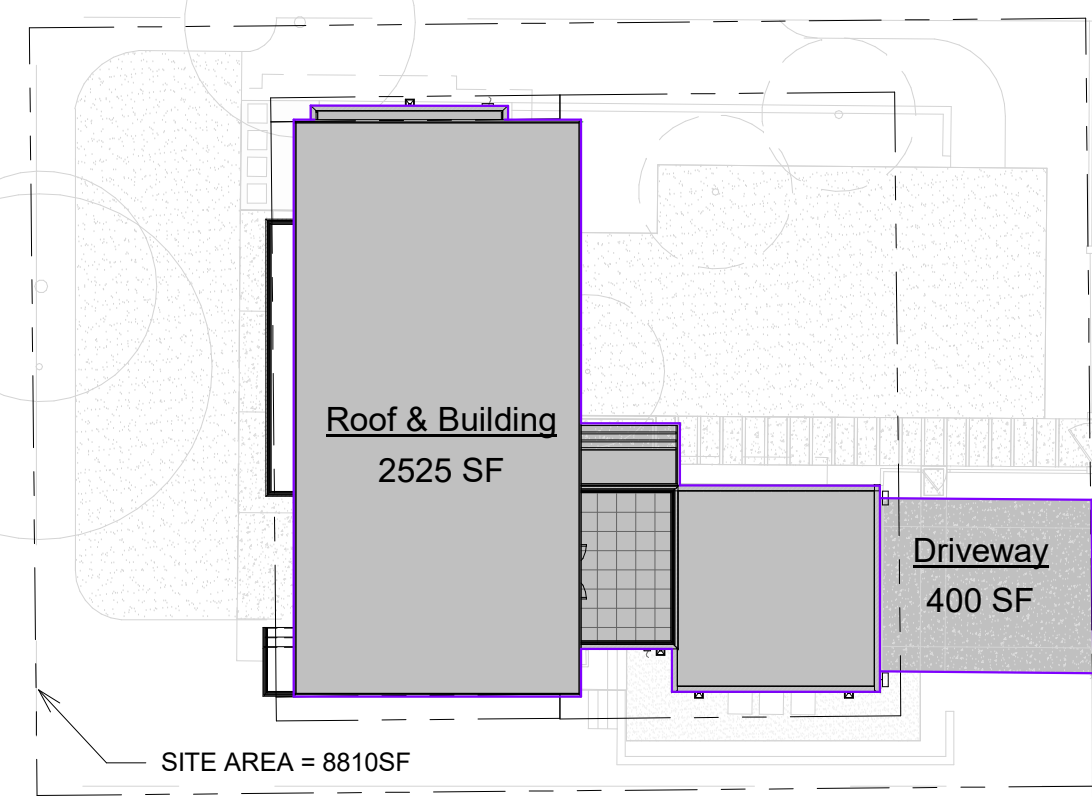
MAX GROSS AREA = SITE AREA x 0.45 = 8810 sf x 0.45 = 3964.5 SF
 3964.5 SF MAX > 3927 SF PROPOSED, THEREFORE OK

BUILDING HEIGHT



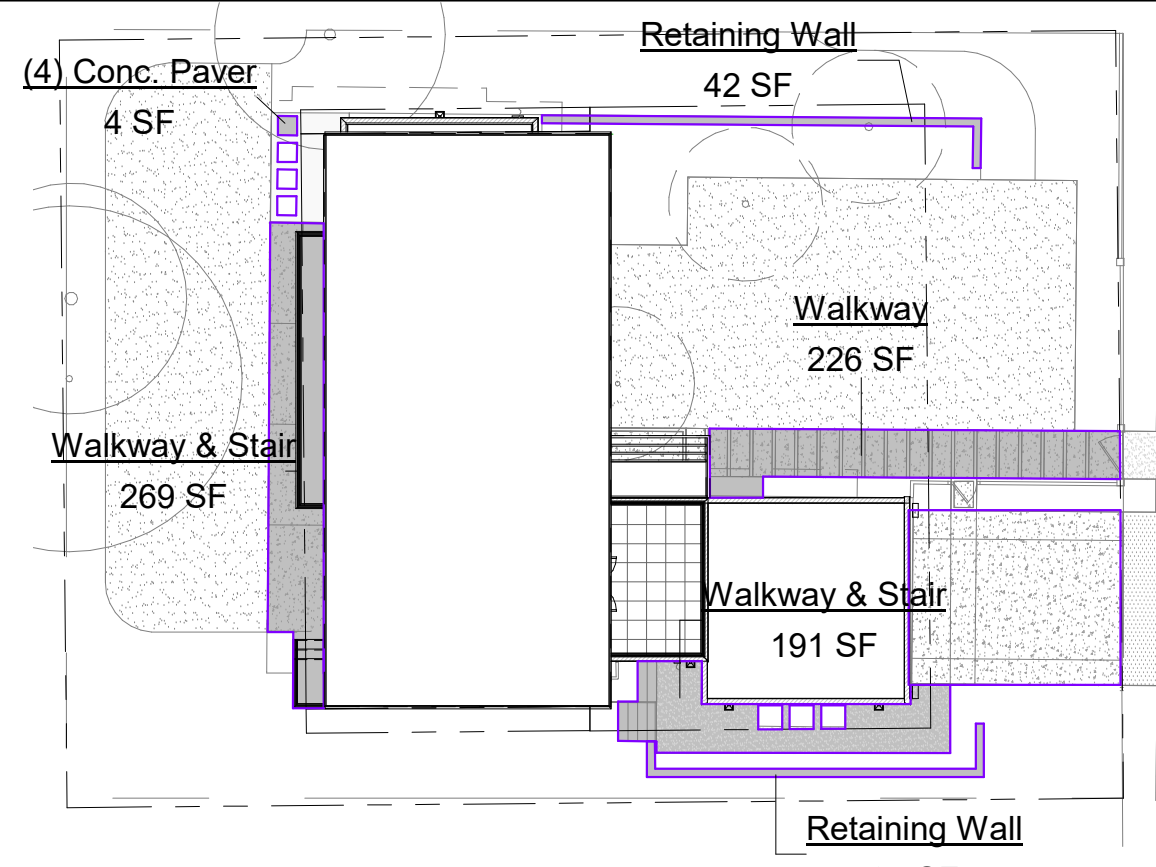
SEGMENT	ELEVATION	LENGTH	L x ELEV.
A	77.15	56.75	4378.26
B	78.3	20.47	1602.80
C	85.8	39.62	3399.39
D	85.7	38.85	3329.44
E	86.0	21.42	1842.12
F	84.4	21.65	1827.26
G	84.7	4.55	385.38
	80.6	37.65	3034.59
			240.96
			19799.24
AVERAGE EXISTING GRADE			82.16
MAX HEIGHT PER CODE			30.0
MAXIMUM BUILDING HEIGHT			112.18

LOT COVERAGE



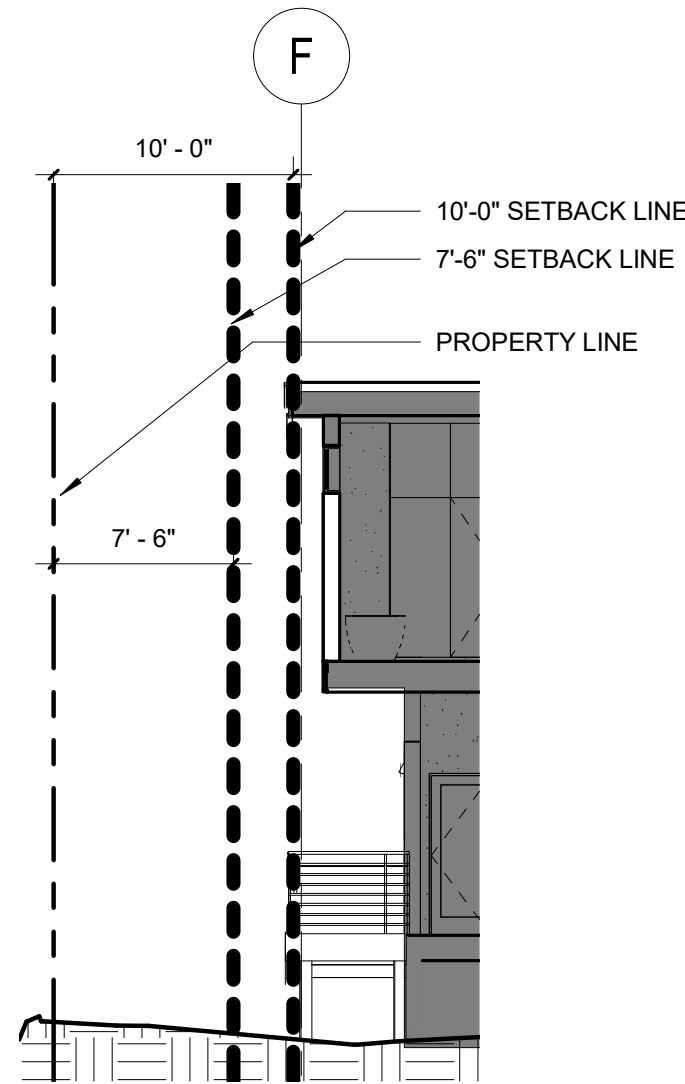
MAX LOT COVERAGE = SITE AREA x 40% = 8810sf x .40 = 3524 SF
 LOT COVERAGE INCLUDES DRIVEWAYS, ROOFS AND OVERHANGS = 2925 SF
 2925 SF < 3524 SF, THEREFORE OK

HARDSCAPE



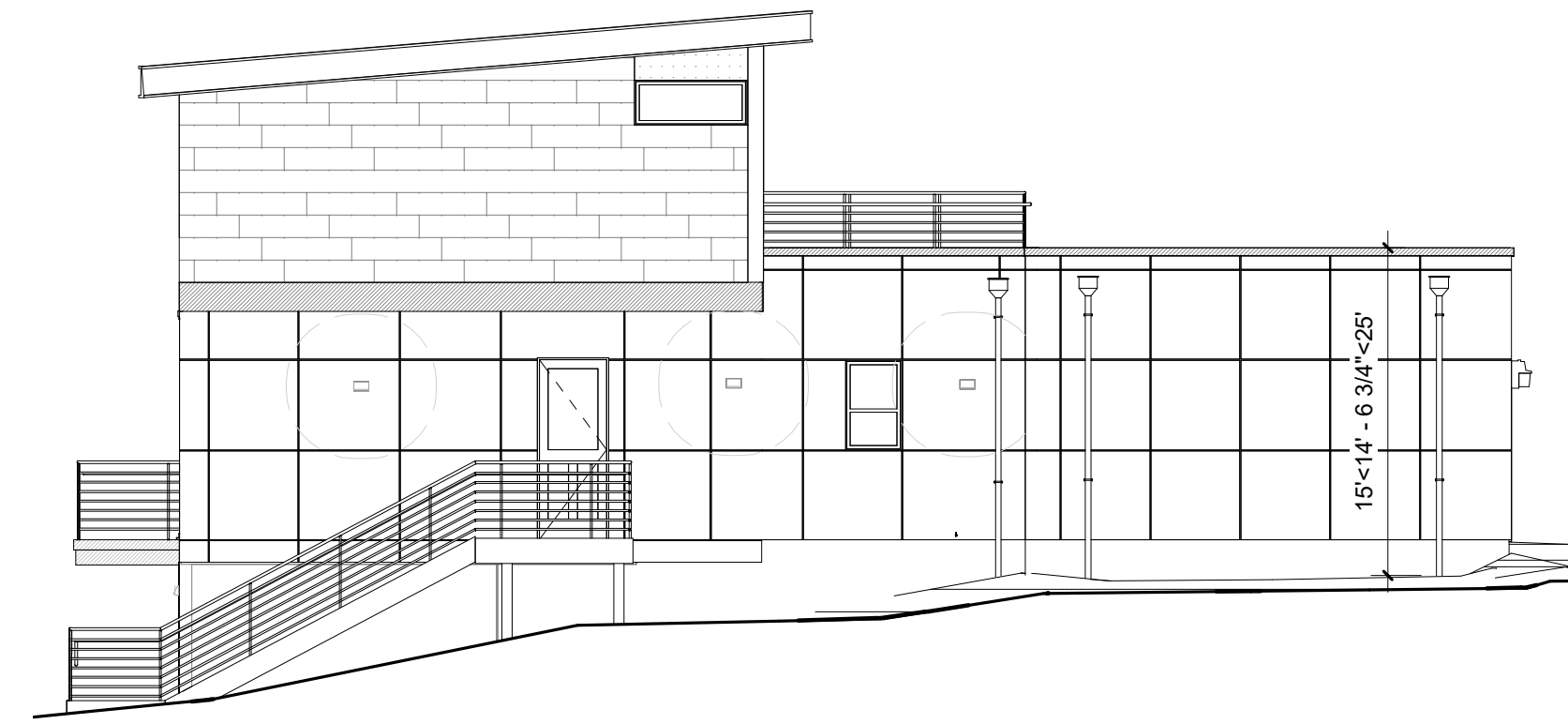
MAX HARDSCAPE = SITE AREA x 9% = 8810sf x .09 = 792.9 SF
 HARDSCAPE INCLUDES PATHWAYS, DECKS, ETC OUTSIDE OF ROOF OVERHANGS = 781 SF
 781 SF < 792.9 SF, THEREFORE OK

SOUTHERN SIDE YARD SETBACK LINE

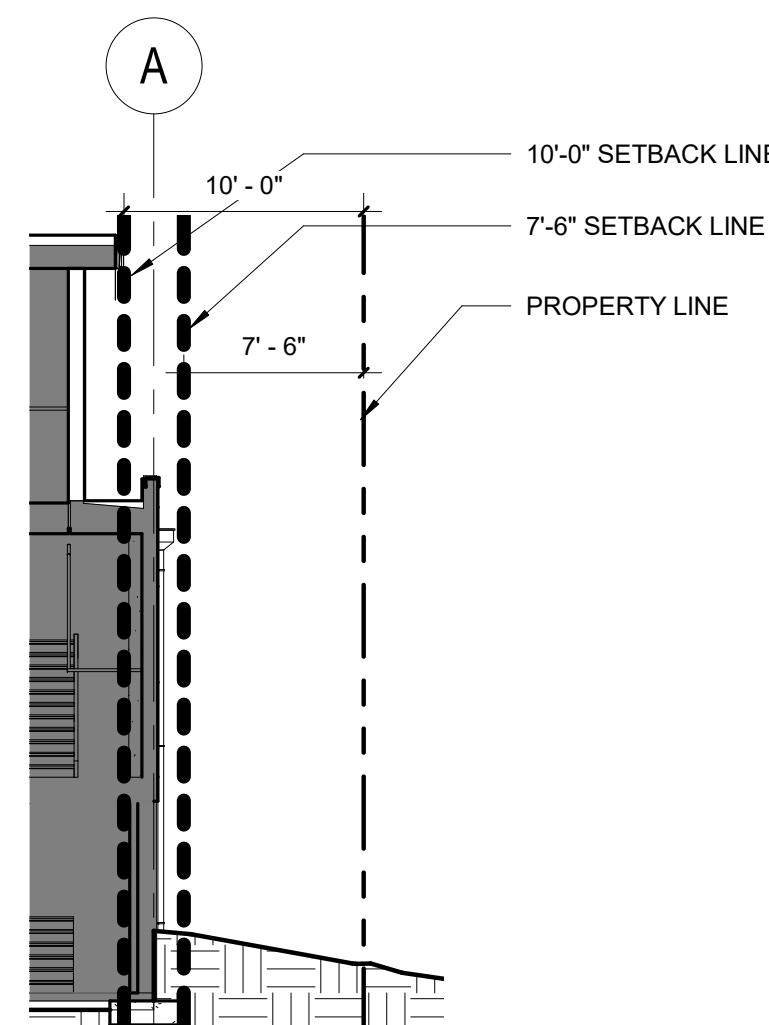


7'-6" SIDE YARD SET BACK LINE APPLY TO GARAGE ROOF SIDE
 10'-0" SIDE YARD SET BACK LINE APPLY TO SLOPED ROOF SIDE

SOUTHERN ELEVATION

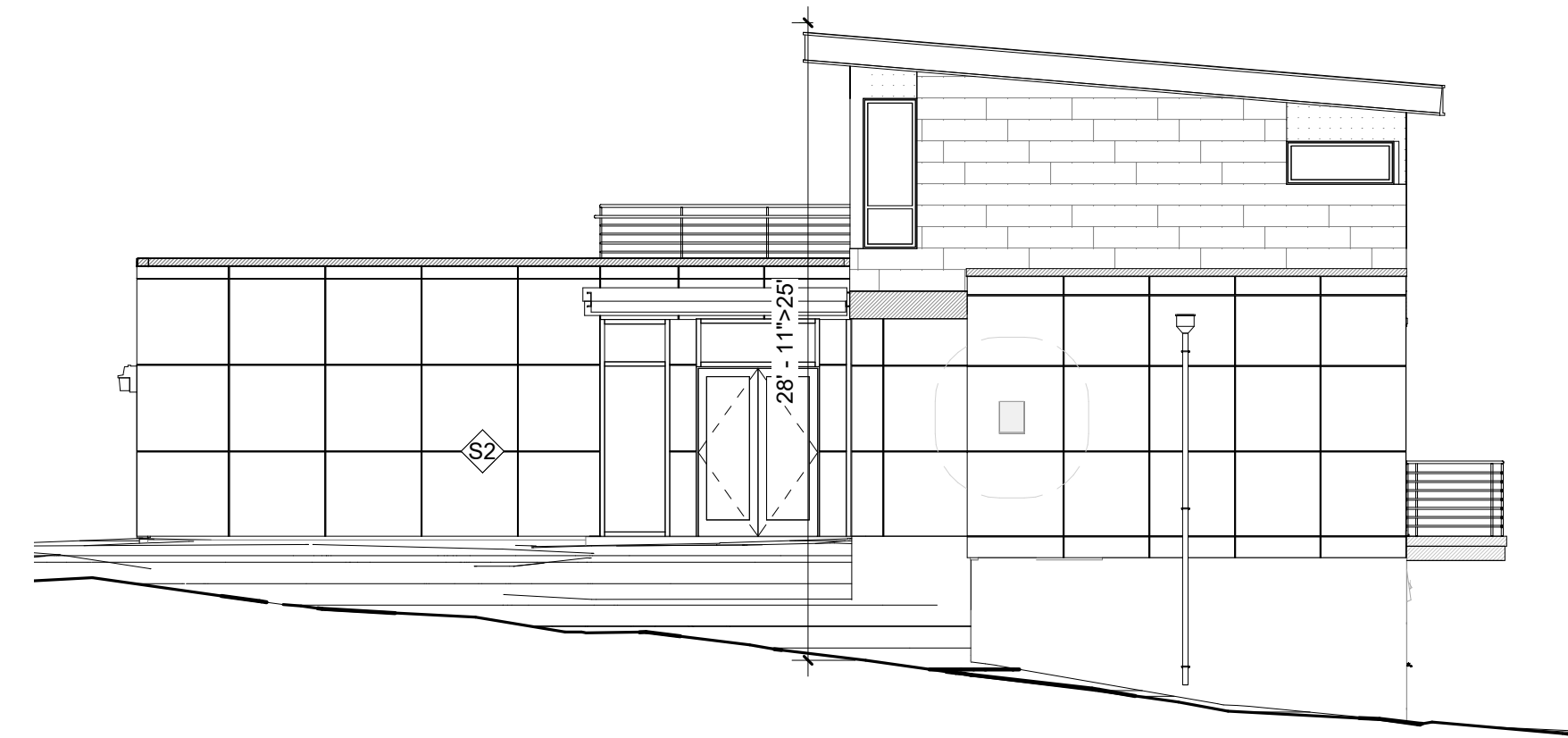


NORTHERN SIDE YARD SETBACK LINE

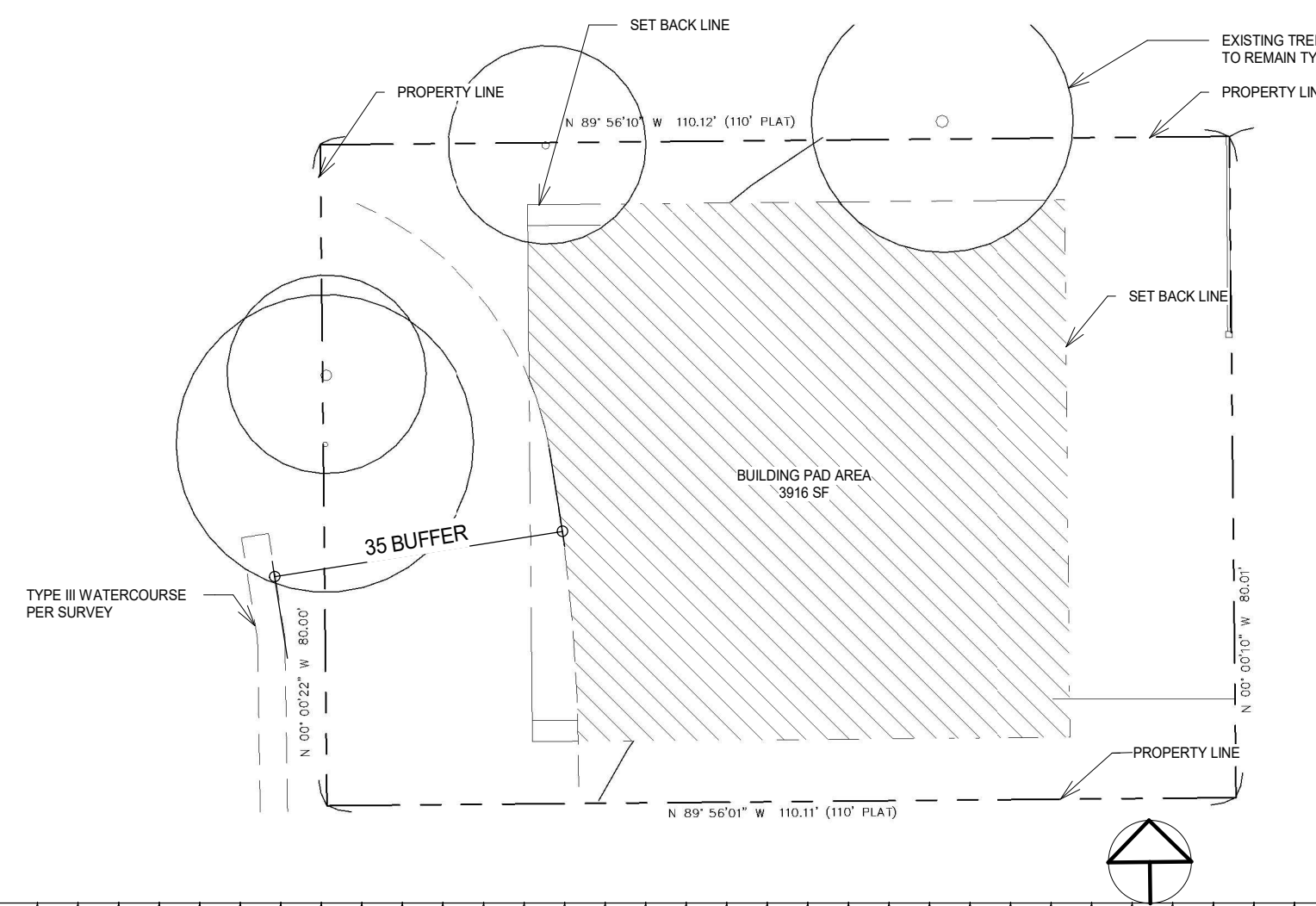


7'-6" SIDE YARD SET BACK LINE APPLY FLAT ROOF SIDE
 10'-0" SIDE YARD SET BACK LINE APPLY TO SLOPED ROOF SIDE

NORTHERN ELEVATION



BUILDING PAD AREA



PROJECT
 PAEK RESIDENCE

ADDRESS
 2215 80th Ave SE
 Mercer Island, WA 98040

CLIENT
 Timothy & Elen Paek

No.	Comment	Date
1	Comment 1	08/16/19

REVISIONS
 DRAWING STATUS

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. ALL DIMENSIONS ARE SHOWN IN IMPERIAL.



ARCHITECTURE
 600 108th Ave NE
 Suite 108
 Bellevue WA 98004
 425.559.7888
 contact@mza.us

STAMP

DRAWING TITLE
 LAND USE CALCULATIONS

DRAWN Author
 DESIGNED Designer

DATE 08/16/19

GRAPHIC SCALE
 As indicated

PROJECT NO.
 18-009

DRAWING NO. A1.0
 REVISION NO. 1

FILE NAME:
 PLOT DATE:

LEGAL DESCRIPTION

(PER STATUTORY WARRANTY DEED RECORDING# 20180116001125)

LOTS 3 AND 4, BLOCK 21, MERCER PARK, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 8 OF PLATS, PAGE 27, RECORDS OF KING COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

A BEARING OF S89°56'18"E ON THE CENTERLINE OF SE 22ND ST (TEMPLE ST), PER RECORD OF SURVEY AS RECORDED IN BOOK 221 OF SURVEYS, PAGE 66, RECORDS OF KING COUNTY, WA

REFERENCES

- RECORD OF SURVEY, BOOK 221, OF SURVEYS PAGE 66; REC#20070322900005; RECORDS OF KING COUNTY, WASHINGTON.
- PLAT OF MERCER PARK, VOLUME 8, OF PLATS PAGE 27; RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

NAVD 88
FOUND REBAR AND CAP L&# NOT READABLE WITH TACK (DOWN 0.8'). LOCATED INTX. 80TH AVE SE & SE 22ND ST. ELEVATION ON CAP=79.94'

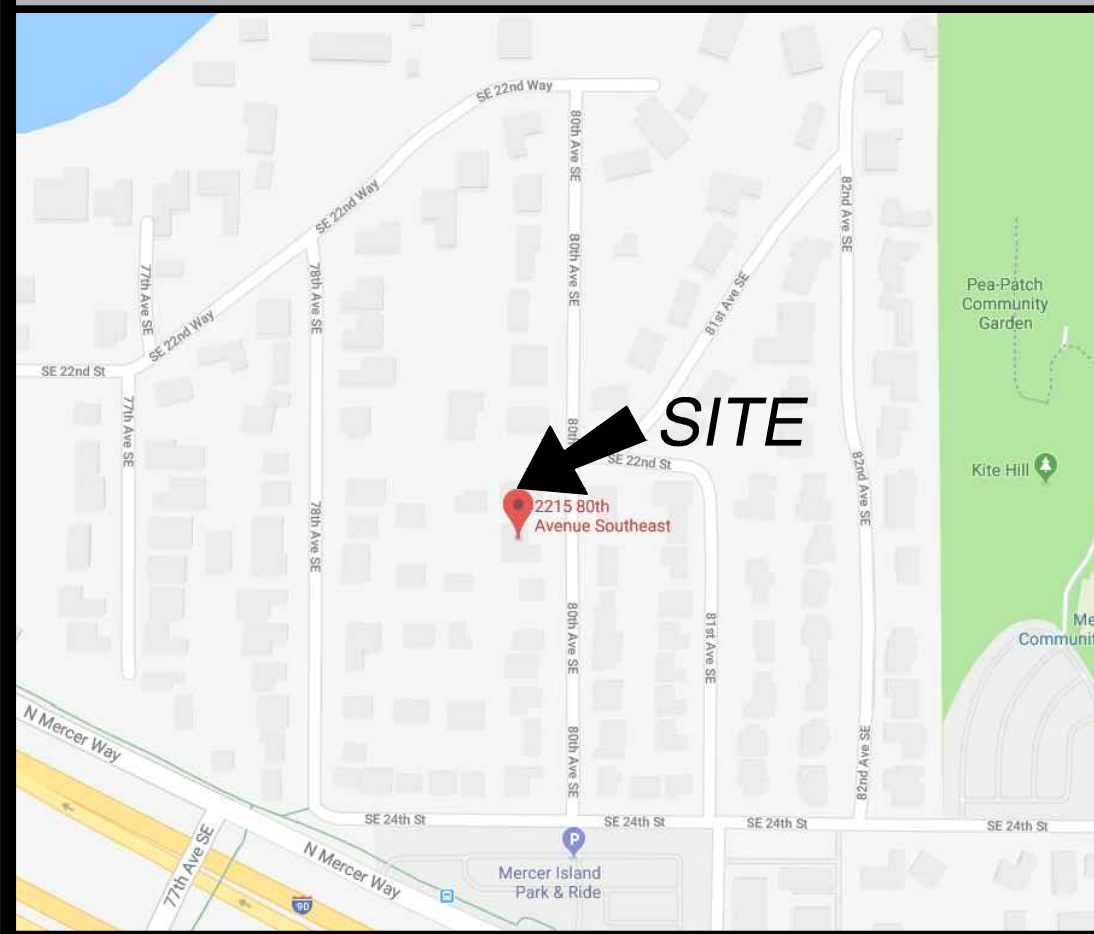
SURVEYOR'S NOTES

- THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN MARCH OF 2018. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
- ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
- BURIED UTILITIES SHOWN BASED ON RECORDS FURNISHED BY OTHERS AND VERIFIED WHERE POSSIBLE IN THE FIELD. TERRANE ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS OR ACCEPT RESPONSIBILITY FOR UNDERGROUND LINES WHICH ARE NOT MADE PUBLIC RECORD. FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO DESIGN CONTACT THE UTILITY OWNER/AGENCY. AS ALWAYS, CALL 1-800-424-5555 BEFORE CONSTRUCTION.
- SUBJECT PROPERTY TAX PARCEL NO. 545230-2145
- SUBJECT PROPERTY AREA PER THIS SURVEY IS 8,810 ±S.F. (0.20 ACRES)- 8,800 ±S.F. PER KING COUNTY ASSESSOR'S.
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
- FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

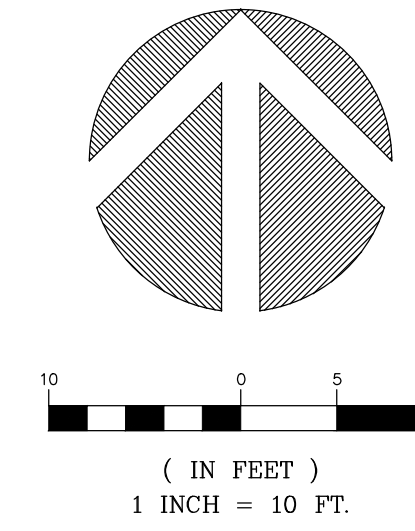
LEGEND

- | | |
|--------------------------|------------------------|
| ASPHALT SURFACE | POWER METER |
| BUILDING | REBAR AS NOTED (FOUND) |
| CENTERLINE ROW | REBAR & CAP (SET) |
| CONCRETE SURFACE | SEWER LINE |
| RETAINING WALL | SEWER MANHOLE |
| DECK | SIGN (AS NOTED) |
| FENCE LINE (CHAIN LINK) | INLET (TYPE 1) |
| FENCE LINE (WOOD) | STORM DRAIN LINE |
| GRAVEL SURFACE | TREE (AS NOTED) |
| MONUMENT IN CASE (FOUND) | WATER METER |
| | MAILBOX (RESIDENTIAL) |

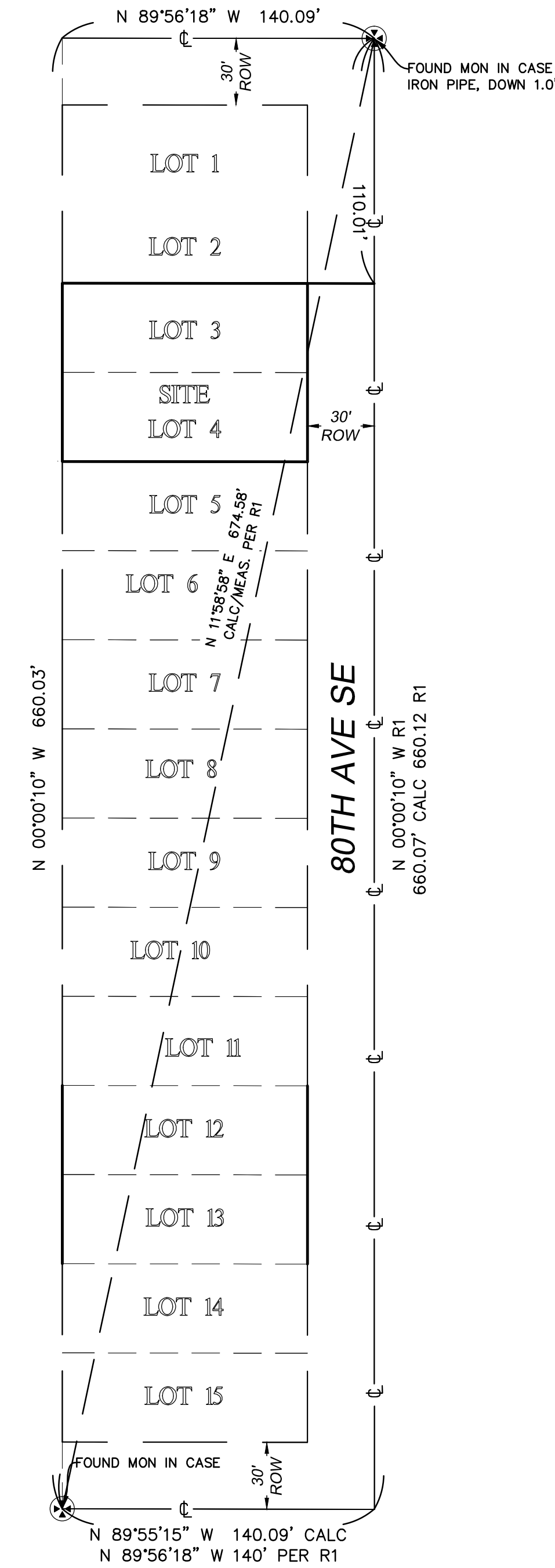
VICINITY MAP N.T.S.



TOPOGRAPHIC & BOUNDARY SURVEY

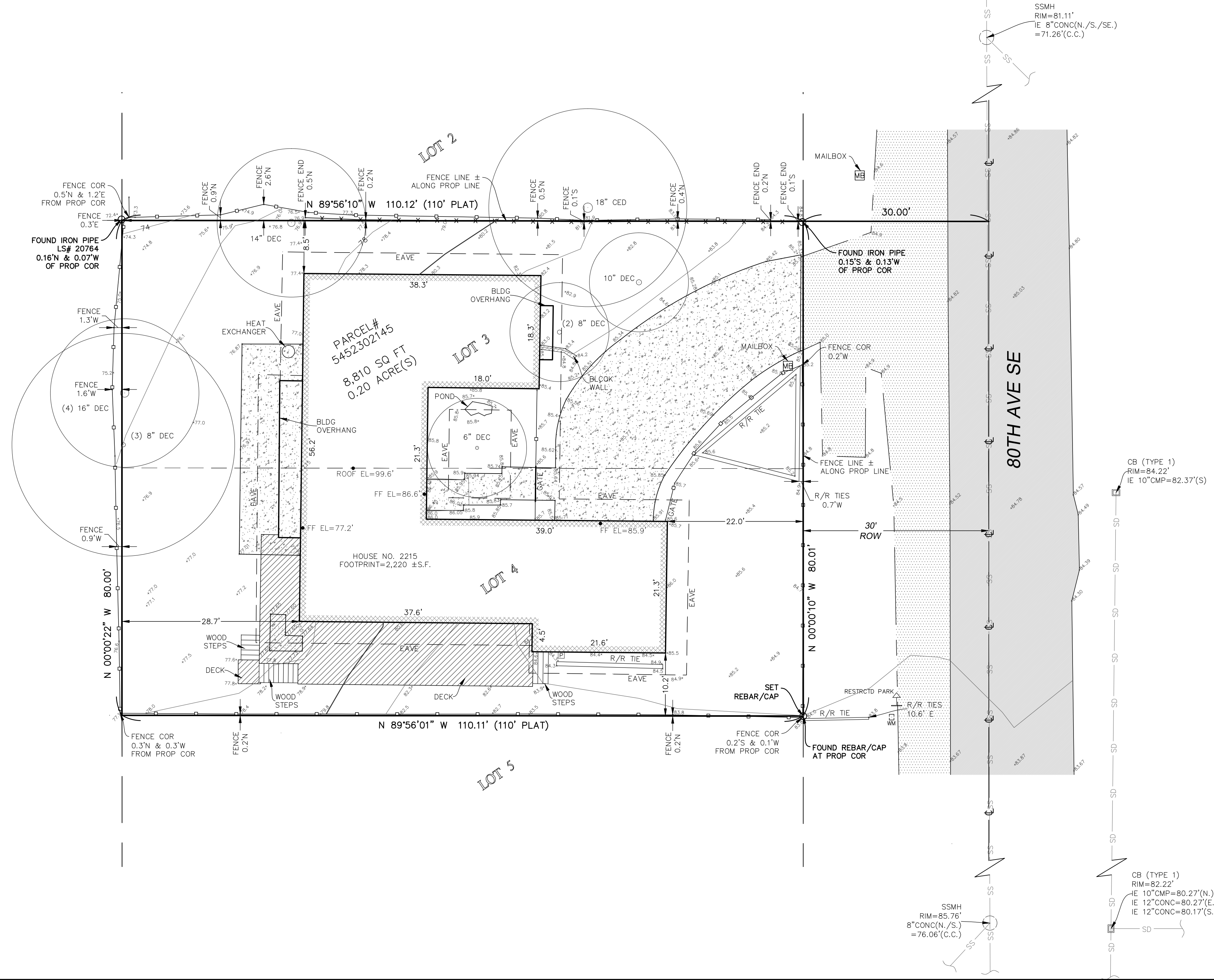


SE 22ND ST (TEMPLE ST)



SE 24TH ST (THOMPSON AVE)

CONTROL MAP N.T.S.



TOPOGRAPHIC & BOUNDARY SURVEY

SE 1/4 OF SE 1/4 SEC 01, TWP. 24N., RGE 04E., W.M. PARCEL NO. 5452302145

PAEK RESIDENCE

2215 80TH AVE SE
MERCER ISLAND, WA 98040



Terrane
10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425.458.4488 support@terrane.net
www.terrane.net

JOB NUMBER:	180407
DATE:	03/23/18
DRAFTED BY:	IDV-PSC
CHECKED BY:	EJG/TMM
SCALE:	1" = 10'

REVISION HISTORY

NO.	DATE	DESCRIPTION

SHEET NUMBER

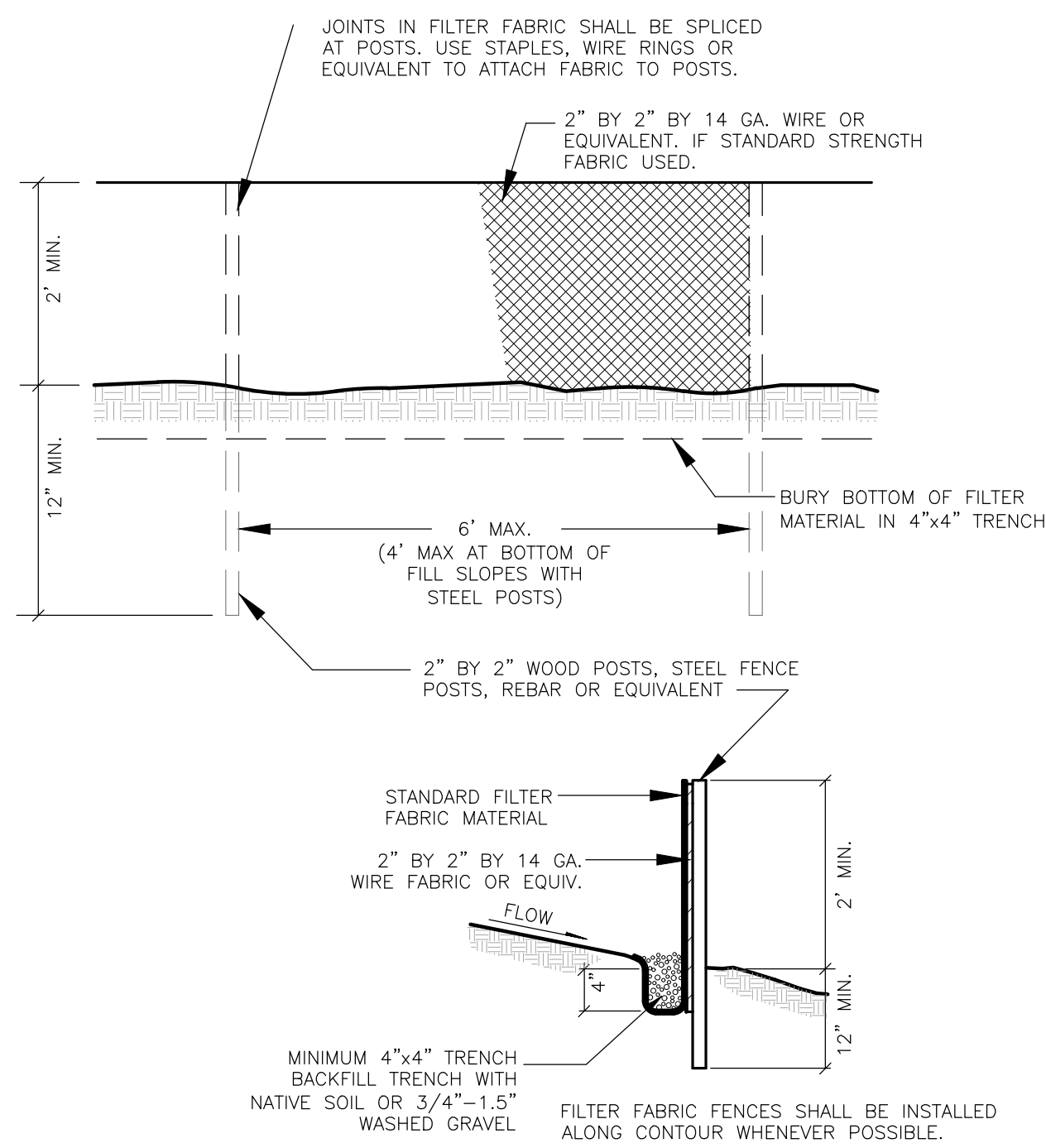
A PORTION OF THE SE QUARTER OF SECTION 01, TOWNSHIP 24 N., RANGE 04 E., W.M.

EROSION CONTROL NOTES

1. PROVIDE AND MAINTAIN TEMPORARY SEDIMENTATION COLLECTION FACILITIES TO ENSURE THAT SEDIMENT OR OTHER HAZARDOUS MATERIALS DO NOT ENTER THE STORM DRAINAGE SYSTEM IN ACCORDANCE WITH THE SITE'S APPROVED CSWPPP.
2. EXPOSED SOILS SHALL BE WORKED DURING THE WEEK UNTIL THEY HAVE BEEN STABILIZED. SOIL STOCKPILES SHOULD BE SHOWN WITHIN THE DISTURBED AREA SHOWN ON THE SITE PLAN. SOIL EXCAVATED FOR THE FOUNDATION SHALL BE BACKFILLED AGAINST THE FOUNDATION AND GRADED TO DRAIN AWAY FROM THE BUILDING. NO SOILS SHALL REMAIN EXPOSED AND UNWORKED FOR MORE THAN 7 DAYS FROM MAY 1 TO SEPTEMBER 30 OR MORE THAN 2 DAYS FROM OCTOBER 1 TO APRIL 30. ONCE THE DISTURBED LANDSCAPE AREAS ARE GRADED, THE GRASS AREAS ARE TO BE AMENDED PER THE SOIL AMENDMENT NOTES ON SHEET C2. ALL STOCKPILES SHOULD BE COVERED WITH PLASTIC OR BURLAP IF LEFT UNWORKED.
3. ANY AND ALL POLLUTANTS, CHEMICALS, LIQUID PRODUCTS, AND OTHER MATERIALS THAT HAVE THE POTENTIAL TO POSE A THREAT TO HUMAN HEALTH OR THE ENVIRONMENT SHALL BE COVERED, CONTAINED, AND PROTECTED FROM VANDALISM. ALL SUCH PRODUCTS SHALL BE KEPT UNDER COVER IN A SECURE LOCATION ON SITE. CONCRETE HANDLING (BMP C151), SAWCUTTING (BMP C152), MATERIAL DELIVERY, STORAGE, AND CONTAINMENT (BMP C153), AND CONCRETE WASHOUT AREAS (BMP C154) SHOULD FOLLOW BEST MANAGEMENT PRACTICES AS PROVIDED IN VOLUME II OF THE 2014 SURFACE WATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON.
4. BEST MANAGEMENT PRACTICES OR BMPs SHALL BE INSPECTED AND MAINTAINED DURING CONSTRUCTION AND REMOVED WITHIN 30 DAYS AFTER THE CITY INSPECTOR OR ENGINEER DETERMINES THAT THE SITE IS STABILIZED, PROVIDED THAT THEY MAY BE REMOVED WHEN THEY ARE NO LONGER NEEDED.

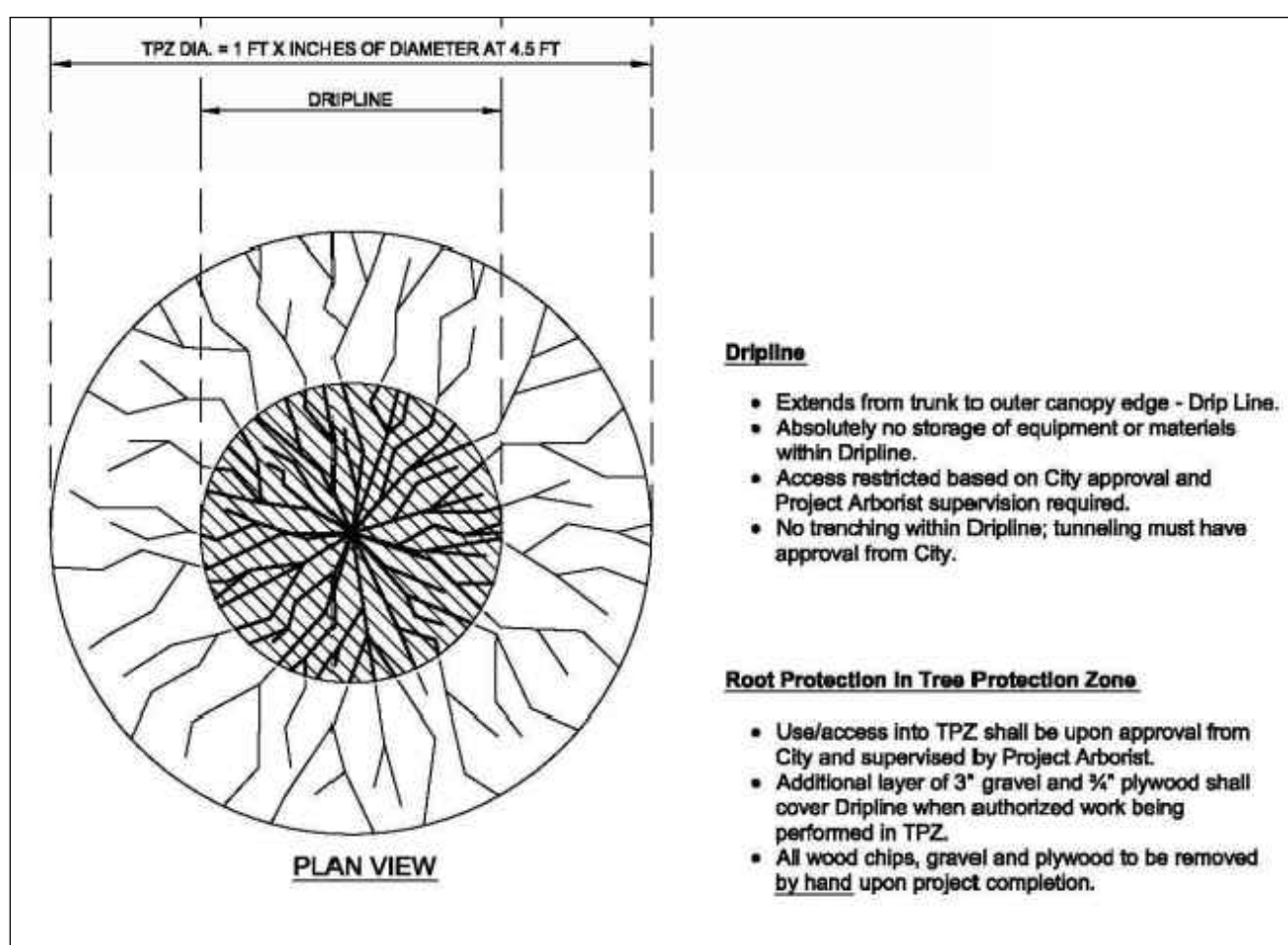
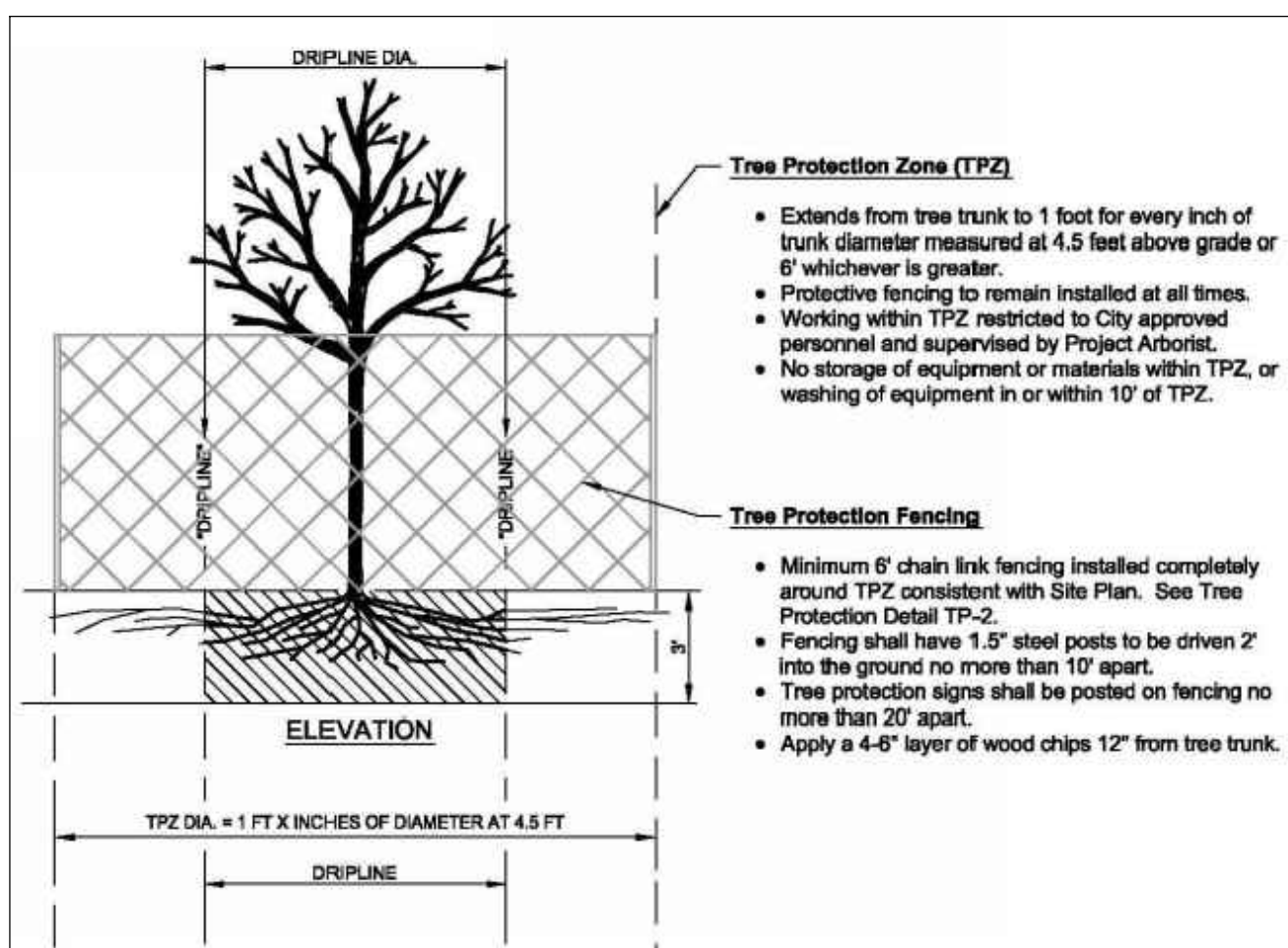
SUGGESTED SWPPP SEQUENACE

1. MARK CLEARING LIMITS, CRITICAL AREAS, AND BUFFER. THE PERIMETER OF THE AREA TO BE CLEARED SHALL BE MARKED PRIOR TO CLEARING OPERATION WITH VISIBLE FLAGGING, ORANGE PLASTIC BARRIER FENCING AND/OR ORANGE SILT FENCING AS SHOWN ON THE SWPPP SITE MAP. VEHICLE ARE ONLY ALLOWED IN THE AREAS TO BE GRADED, SO NO COMPACTION OF THE UNDEVELOPED AREAS WILL OCCUR.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE WHERE NECESSARY
3. INSTALL PROTECTION FOR EXISTING DRAINAGE SYSTEMS AND PERMANENT DRAIN INLETS
4. ESTABLISH STAGING AREAS FOR STORAGE AND HANDLING POLLUTED MATERIAL AND BMPs
5. INSTALL SEDIMENT CONTROL BMPs
6. GRADE AND INSTALL STABILIZATION MEASURES FOR DISTURBED AREAS
7. MAINTAIN BMPs UNTIL SITE STABILIZATION, AT WHICH TIME THEY MAY BE REMOVED



TYPICAL FILTER FENCE DETAIL

NOT TO SCALE



TREE PROTECTION DETAIL

NOT TO SCALE

PERMANENT & TEMPORARY SEEDING

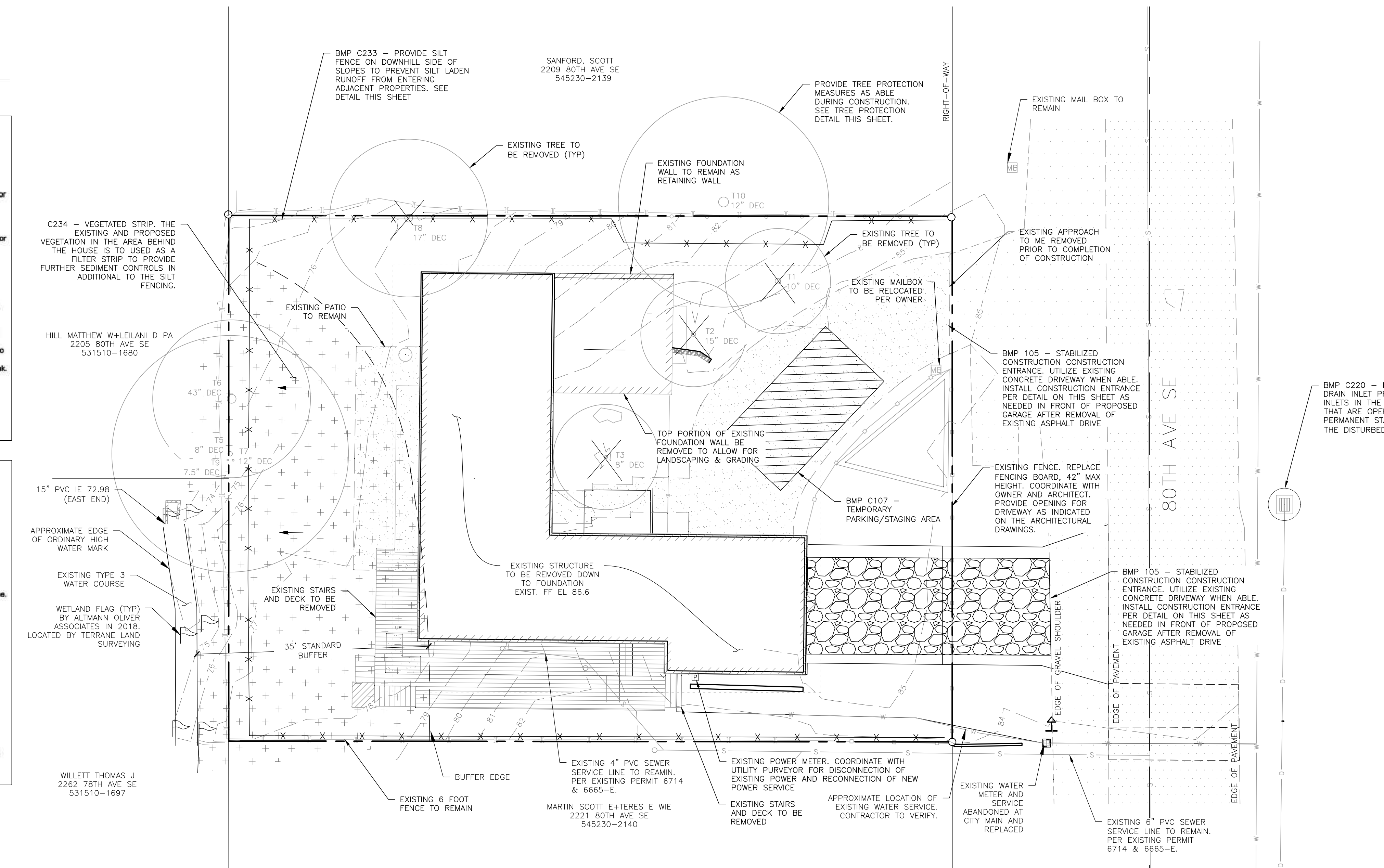
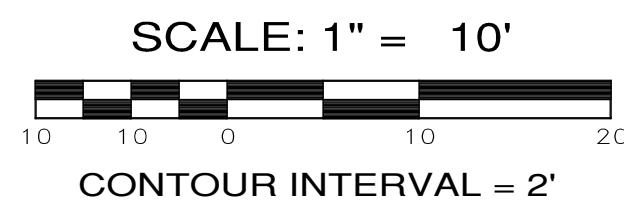
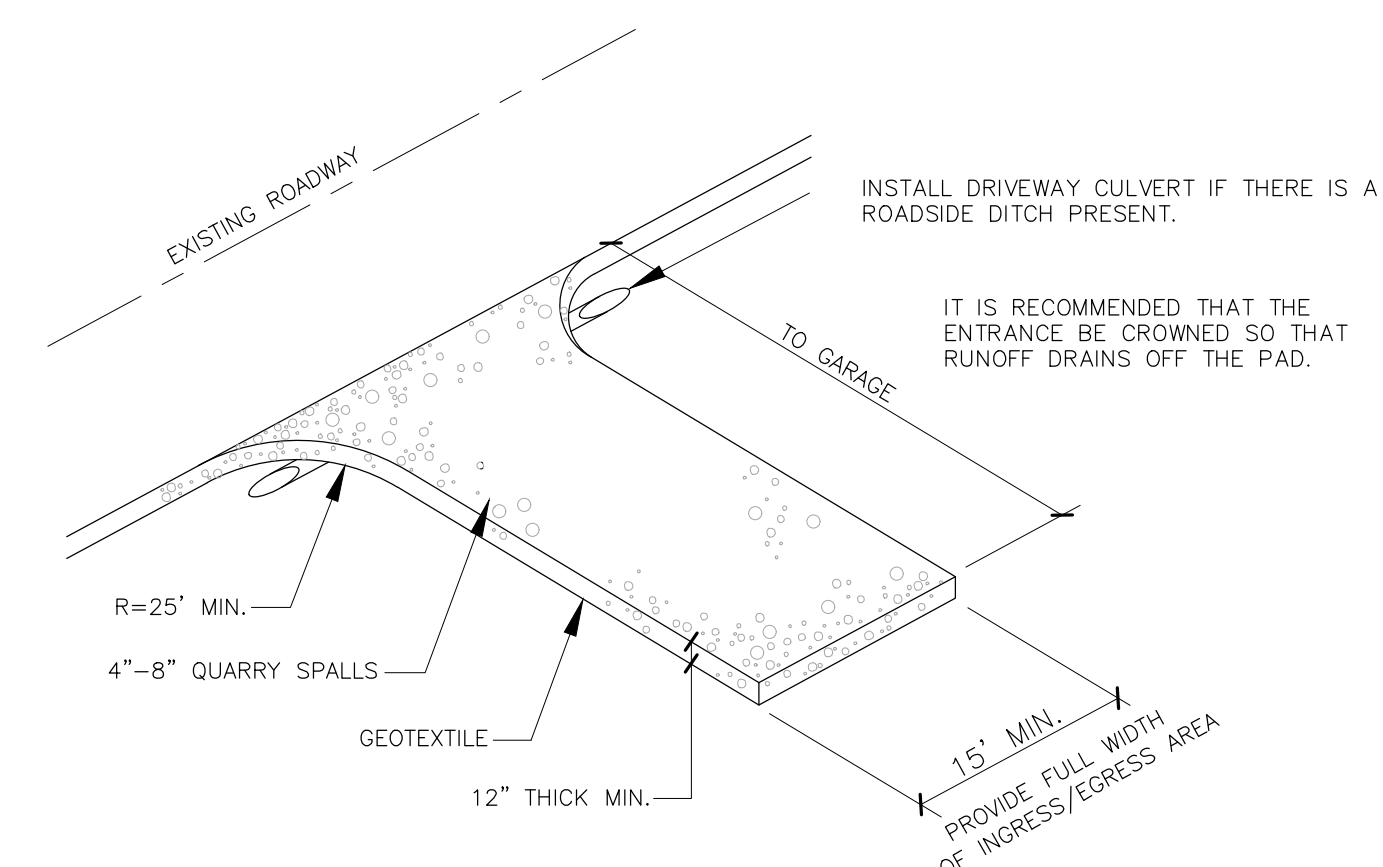
1. SEEDING MAY BE USED THROUGHOUT THE PROJECT ON DISTURBED AREAS THAT HAVE REACHED FINAL GRADE OR THAT WILL REMAIN UNWORKED. SEED AND MULCH ALL DISTURBED AREAS NOT OTHERWISE VEGETATED OR STABILIZED.
2. SEED DURING SEASONS MOST CONDUCTED TO PLANT GROWTH. FOR WASHINGTON THIS IS BETWEEN APRIL 1 THROUGH JUNE 20 AND SEPTEMBER 1 THROUGH OCTOBER 1. SEEDING THAT OCCURS BETWEEN JULY 1 AND AUGUST 30 WILL REQUIRE IRRIGATION UNTIL 5 PERCENT GRASS COVER IS ESTABLISHED. SEEDING THAT OCCURS BETWEEN OCTOBER 1 AND MARCH 30 MAY REQUIRE MULCH OR PLASTIC COVER UNTIL 75 PERCENT GRASS COVER IS ESTABLISHED.
3. REFER TO BMP C120 IN THE STORMWATER MANUAL FOR WESTERN WASHINGTON; VOLUME II FOR FURTHER DETAILS.

MAPPING NOTES

1. SITE BOUNDARY AND CONTOURS PROVIDED BY TERRANE SURVEYING, MAPS DATED 01/07/19.
2. HOUSE, SITE LAYOUT, WATERCOURSE LOCATION WITH ASSOCIATED BUFFER PROVIDED BY MZA ARCHITECTURE ON 01/17/19.
3. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION OF SPECIFIC UTILITY.
4. CONTRACTOR SHALL KEEP DETAILED NOTES FOR USE DURING ASBUILT DRAWING PREPARATION.
5. TREE NUMBERS PER ARBORISTS NW, LLC REPORT

ROCK-LINED CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE



REVISIONS		
NO.	DESCRIPTION/DATE	BY
1	CITY COMMENTS AUGUST 1, 2019	ESM

BRANDON MICHAEL LOUIS
REGISTERED PROFESSIONAL ENGINEER
NO. 50085
8/7/2019

ESM CONSULTING ENGINEERS LLC
35400 8th Ave S, Suite 205
Federal Way, WA 98003
(206) 838-6113
(206) 297-9900
www.esmcivil.com

Land Planning
Landscape Architecture
Civil Engineering
Public Works
Project Management

MZA ARCHITECTURE
PAEK RESIDENCE
DEMO & TESC PLAN
CITY OF MERCER ISLAND, WASHINGTON

JOB NO.: 1954-003-018
DWG. NAME:
DESIGNED BY: BML
DRAWN BY: BML
CHECKED BY:
DATE: 04/30/2019
DATE OF PRINT:
C1
OF SHEETS

CALL 48 HOURS BEFORE YOU DIG 811

A PORTION OF A PORTION OF THE SE QUARTER OF SECTION 01, TOWNSHIP 24 N., RANGE 04 E., W.M.

SOIL QUALITY GUIDELINES

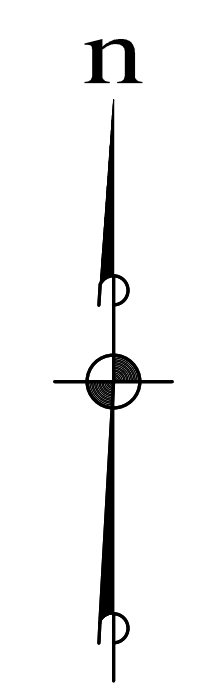
- SOIL RETENTION. RETAIN, IN AN UNDISTURBED STATE THE DUFF LAYER AND NATIVE TOPSOIL TO THE MAXIMUM EXTENT PRACTICABLE. IN ANY AREAS REQUIRING GRADING REMOVE AND STOCK-PILE THE DUFF LAYER AND TOPSOIL, IF ANY, ON SITE IN A DESIGNATED, CONTROLLED AREA, NOT ADJACENT TO PUBLIC RESOURCES AND CRITICAL AREAS, TO BE REAPPLIED TO OTHER PORTIONS OF THE SITE WHERE FEASIBLE.
SOIL QUALITY. ALL AREAS SUBJECT TO CLEARING AND GRADING THAT HAVE NOT BEEN COVERED BY IMPERVIOUS SURFACE, INCORPORATED INTO A DRAINAGE FACILITY OR ENGINEERED AS STRUCTURAL FILL OR SLOPE SHALL, AT PROJECT COMPLETION, DEMONSTRATE THE FOLLOWING:
1. A TOPSOIL LAYER WITH A MINIMUM ORGANIC MATTER CONTENT OF 5-10% DRY WEIGHT IN PLANTING BEDS, AND 5% ORGANIC MATTER CONTENT IN TURF AREAS, AND A PH FROM 6.0 TO 8.0 OR MATCHING THE PH OF THE UNDISTURBED SOIL. THE TOPSOIL LAYER SHALL A MINIMUM DEPTH OF EIGHT INCHES EXCEPT WHERE TREE ROOTS LIMIT THE DEPTH OF INCORPORATION OF AMENDMENTS NEEDED TO MEET THE CRITERIA. SUBSOILS BELOW THE TOPSOIL LAYER SHOULD BE SCARIFIED AT LEAST 4 INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID STRATIFIED LAYERS, WHERE FEASIBLE.
2. MULCH PLANTING BEDS WITH 2 INCHES OF ORGANIC MATERIAL.
3. USE COMPOST AND OTHER MATERIALS THAT MEET THESE ORGANIC CONTENT REQUIREMENTS:
A. THE ORGANIC CONTENT FOR "PRE-APPROVED" AMENDMENT RATES CAN ONLY BE MET USING COMPOST MEETING THE COMPOST SPECIFICATION FOR BIORETENTION WITH THE EXCEPTION THAT THE COMPOST MUST HAVE AN ORGANIC MATTER CONTENT OF 40 PERCENT TO 65 PERCENT, AND A CARBON TO NITROGEN RATIO BETWEEN 25:1. THE CARBON TO NITROGEN RATIO MAY BE AS HIGH AS 35:1 FOR PLANTING COMPOSED ENTIRELY OF PLANTS NATIVE TO THE PUGET SOUND LOWLANDS REGION.
B. CALCULATED AMENDMENT RATES MAY BE MET THROUGH USE OF COMPOSTED MATERIALS AS DEFINED ABOVE, OR OTHER ORGANIC MATERIALS AMENDED TO MEET THE CARBON TO NITROGEN RATIO REQUIREMENTS, AND NOT EXCEEDING THE CONTAMINANT LIMITS IDENTIFIED IN TABLE 220-B, TESTING PARAMETERS, IN WAC 173-350-220.

SOIL AMENDMENT OPTIONS

- IMPLEMENTATION OPTIONS: THE SOIL QUALITY DESIGN GUIDELINES LISTED ON THIS SHEET CAN BE MET BY USING ONE OF THE METHODS LISTED BELOW:
OPTION 1: LEAVE UNDISTURBED NATIVE VEGETATION AND SOIL, AND PROTECT FROM COMPACTION DURING CONSTRUCTION.
OPTION 2: AMEND EXISTING SITE TOPSOIL OR SUBSOIL EITHER AT DEFAULT "PRE-APPROVED" RATES, OR AT CUSTOM CALCULATED RATES BASED ON TESTS OF THE SOIL AND AMENDMENT.
OPTION 3: STOCKPILE EXISTING TOPSOIL DURING GRADING, AND REPLACE IT PRIOR TO PLANTING. STOCKPILED TOPSOIL MUST ALSO BE AMENDED IF NEEDED TO MEET THE ORGANIC MATTER OR DEPTH REQUIREMENTS, EITHER AT A DEFAULT "PRE-APPROVED" RATE OR AT A CUSTOM CALCULATED RATE.
OPTION 4: IMPORT TOPSOIL MIX OF SUFFICIENT ORGANIC CONTENT AND DEPTH TO MEET THE REQUIREMENTS.
MORE THAN ONE METHOD MAY BE USED ON DIFFERENT PORTIONS OF THE SAME SITE. SOIL THAT ALREADY MEETS THE DEPTH AND ORGANIC MATTER QUALITY STANDARDS, AND IS NOT COMPACTED, DOES NOT NEED TO BE AMENDED.

POST CONSTRUCTION SOIL INSPECTION

THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP T5.13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.



SITE DATA

PARCEL NUMBER: 545230-2145
SITE ADDRESS: 2215 80TH AVE SE, MERCER ISLAND, WA 98040
SITE AREA: 8,800 SF (RECORDED), 8,810 SF (SURVEYED)
ZONING: R-8.5
REQUIRED SETBACKS: FRONT/GARAGE: 20 FT, BACK: 25 FT, INTERIOR: 10 FT EA (15 FT TOTAL)

ON-SITE IMPERVIOUS

Table with 2 columns: Category and Area. Rows include: SINGLE FAMILY ROOFTOP (2,495 SF), CONCRETE DRIVE (437 SF), TOTAL (2,932 SF), SHEET FLOW DISPERSION EXPOSED WALKWAYS (233 SF).

PROJECT IMPACTS

Table with 2 columns: Category and Area. Rows include: EXISTING (ALL TO BE REMOVED): SINGLE FAMILY ROOFTOP (3,629 SF), REPLACED: SINGLE FAMILY ROOFTOP (2,495 SF), NEW DRIVEWAY (437 SF), NEW + REPLACED: 3,214 SF.

EARTHWORK QUANTITIES

Table with 2 columns: Category and Quantity. Rows include: CUT (0 CY), FILL (80 CY), NET (80 CY (FILL)).

EARTHWORK VOLUMES SHOWN ARE ESTIMATES ONLY. CONTRACTOR SHALL VERIFY VOLUMES AS NEEDED.

FOOTING DRAIN NOTE

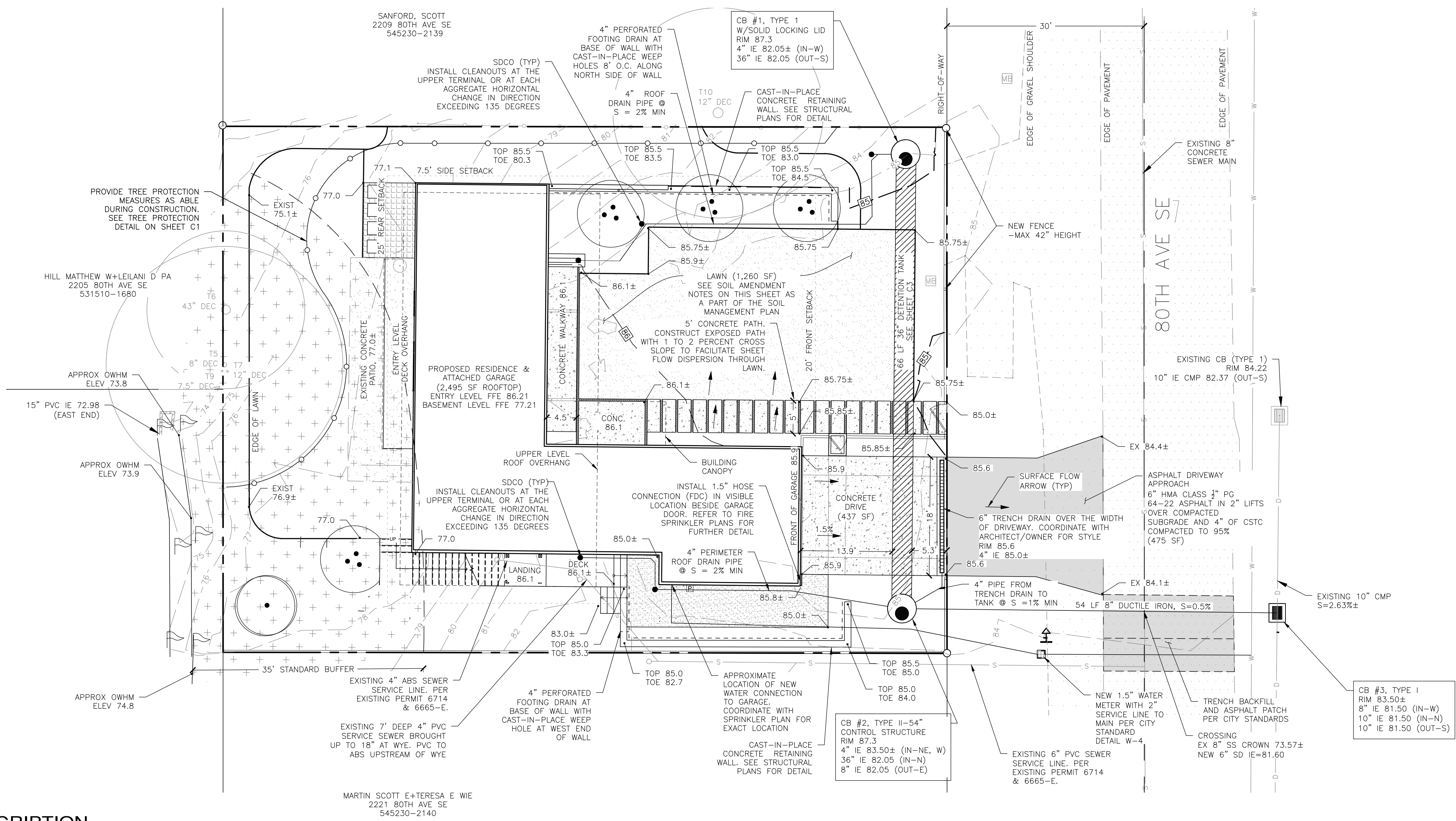
ALL FOOTING WALLS SHALL BE PROVIDED WITH A DRAIN AT THE BASE OF THE FOOTING ELEVATION. DRAINS SHOULD CONSIST OF RIGID PVC PIPE SURROUNDED BY WASHED PEA GRAVEL. THE LEVEL OF THE PERFORATIONS IN THE PIPE SHOULD BE SET AT OR SLIGHTLY BELOW THE BOTTOM OF THE FOOTING AND THE DRAINS SHOULD BE CONSTRUCTION WITH SUFFICIENT GRADIENT TO ALLOW GRAVITY DISCHARGE AWAY FROM THE BUILDING. DAYLIGHT FOOTING DRAIN DOWNSTREAM FROM HOUSE SEPARATE FROM THE PROPOSED FLOW CONTROL BMPs AND AFTER THE DETENTION SYSTEM.

LEGAL DESCRIPTION

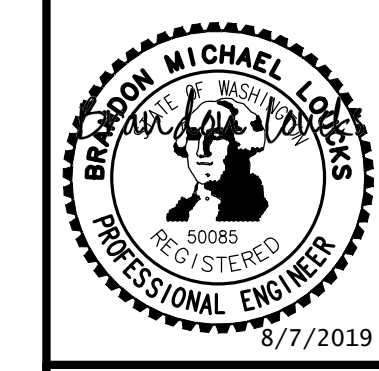
PER STATUTORY WARRANTY DEED RECORDING# 20180116001125
LOTS 3 AND 4, BLOCK 21, MERCER PARK, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 9 OF PLATS, PAGE 27, RECORDS OF KING COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

SEE THE TOPOGRAPHY MAP PREPARED BY TERRANE LAND SURVEYING FOR THIS PROJECT FOR FURTHER PROJECT DESCRIPTION, CONTROL, AND EXISTING TOPOGRAPHY INFORMATION.



REVISIONS table with columns: NO., DESCRIPTION/DATE, BY. Row 1: 1, CITY COMMENTS, AUGUST 1, 2019, ESM.



ESM CONSULTING ENGINEERS LLC
35400 8th Ave S, Suite 205
Federal Way, WA 98003
www.esmcivil.com
Civil Engineering, Land Surveying, Project Management, Public Works, Landscape Architecture

MZA ARCHITECTURE
PAEK RESIDENCE
DRAINAGE & GRADING PLAN
CITY OF MERCER ISLAND, WASHINGTON

Table with 2 columns: Field and Value. Fields include: JOB NO., DWG. NAME, DESIGNED BY, DRAWN BY, CHECKED BY, DATE, DATE OF PRINT.

CALL 48 HOURS BEFORE YOU DIG 811

A PORTION OF A PORTION OF THE SE QUARTER OF SECTION 01, TOWNSHIP 24 N., RANGE 04 E., W.M.

REVISIONS		
NO.	DESCRIPTION/DATE	BY
1	CITY COMMENTS AUGUST 1, 2019	ESM

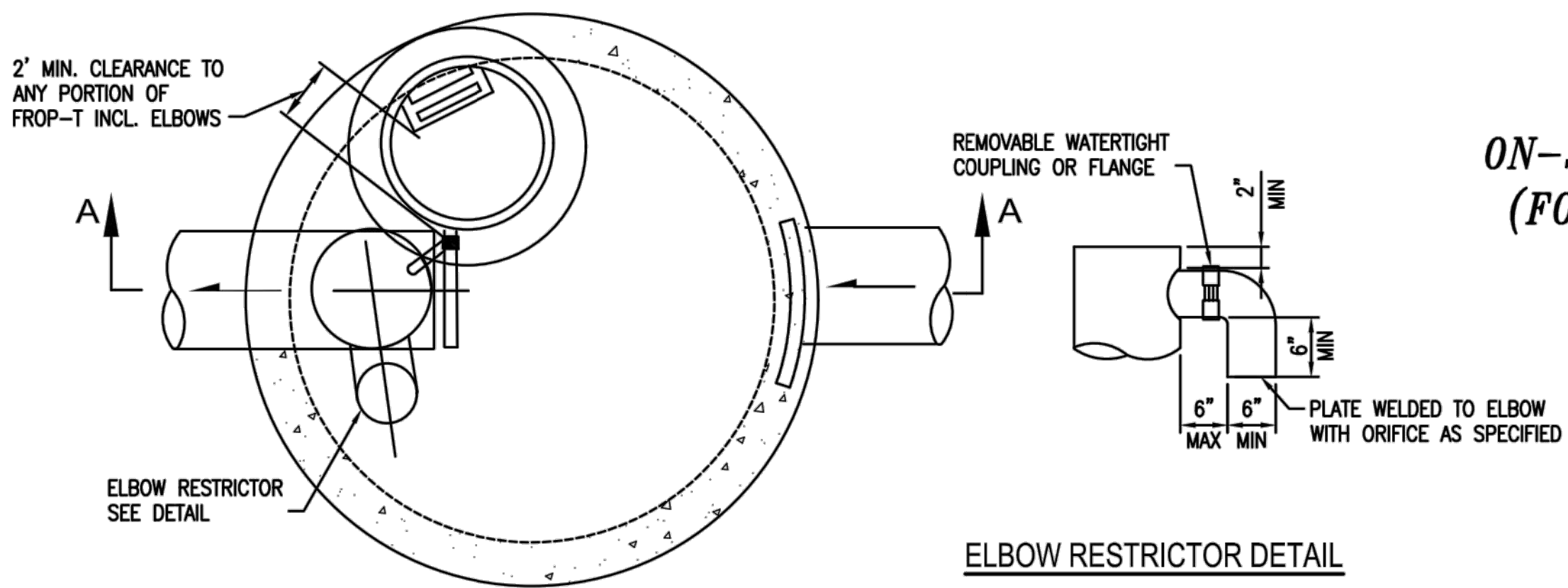


ESM CONSULTING ENGINEERS LLC
 33400 8th Ave S, Suite 205
 Federal Way, WA 98003
 FEDERAL WAY (253) 838-6113
 EVERETT (425) 297-9900
 www.esmcivil.com
 Civil Engineering
 Land Surveying
 Project Management
 Land Planning
 Landscape Architecture
 Public Works

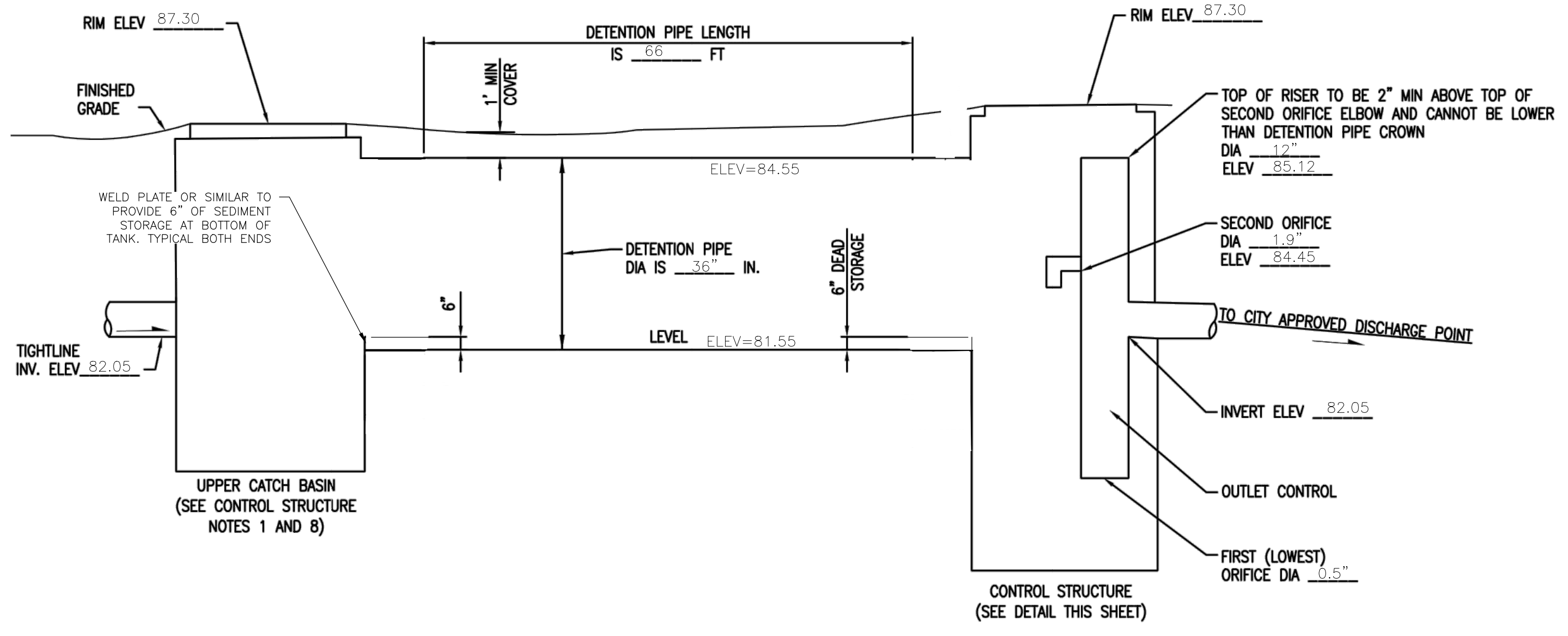
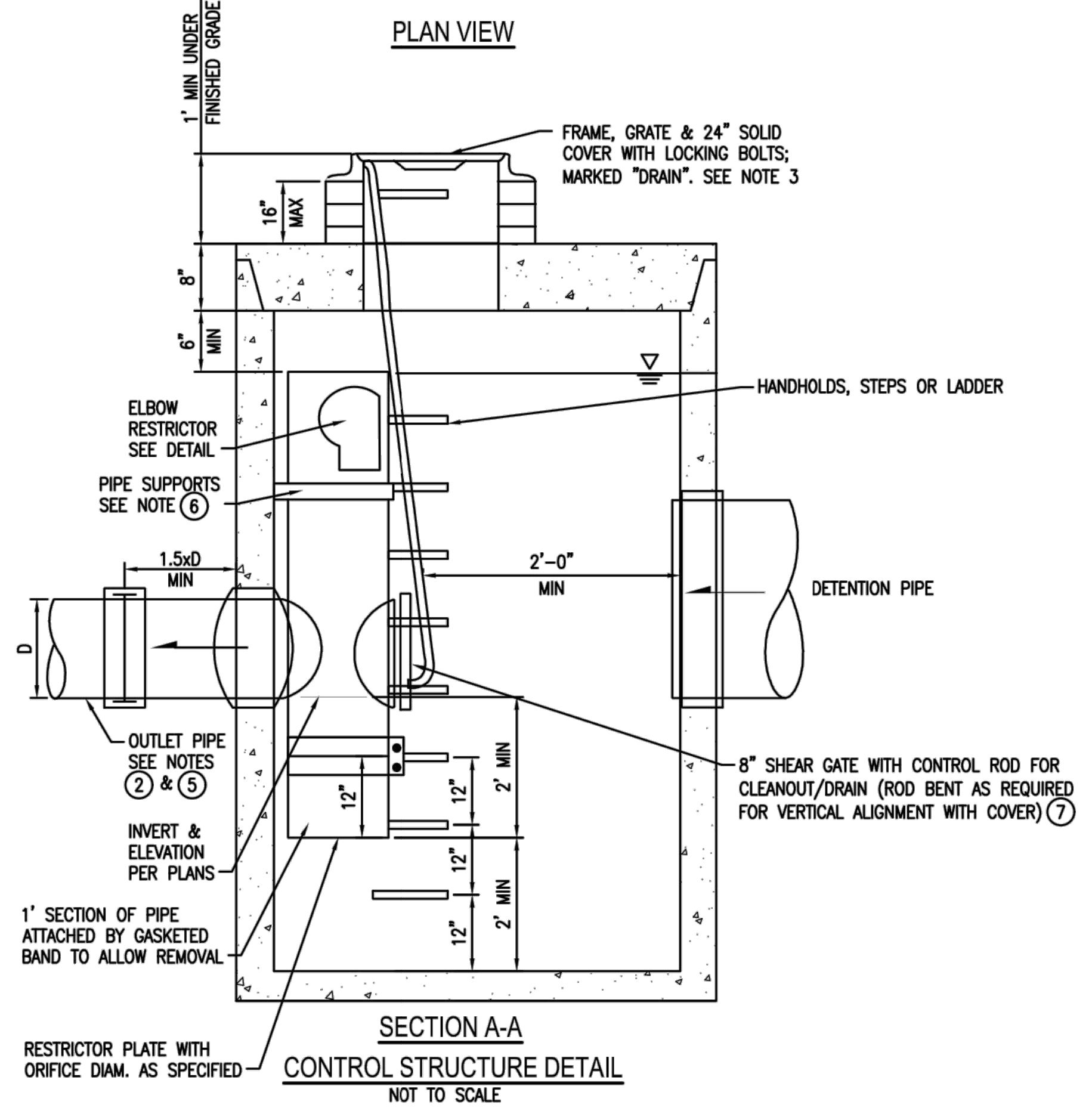
MZA ARCHITECTURE
PAEK RESIDENCE
 NOTES & DETAILS
 CITY OF MERCER ISLAND, WASHINGTON

JOB NO.: 1954-003-018
 DWG. NAME:
 DESIGNED BY: BML
 DRAWN BY: BML
 CHECKED BY:
 DATE: 04/30/2019
 DATE OF PRINT:
C3
 OF SHEETS

ATTACHMENT 1
CITY OF MERCER ISLAND
ON-SITE DETENTION SYSTEM WORKSHEET
(FOR NEW PLUS REPLACED IMPERVIOUS
AREA OF 9,500 SF OR LESS)



OWNER: <u>TIM & ELLEN PAEK</u>	ADDRESS: <u>2215 80TH AVE SE</u>	PREPARED BY: <u>ESM CONSULTING ENGINEERS</u>
PERMIT #:	<u>MERCER ISLAND, 98040</u>	PHONE: <u>(253) 838-6113</u>
		DATE: <u>04/24/2019</u>
NEW PLUS REPLACED IMPERVIOUS SURFACE AREA (SF): <u>2,891 (TRIBUTARY)</u>	DETENTION PIPE DIA (INCH): <u>.36"</u>	DETENTION PIPE LENGTH (FT): <u>.66'</u>
SOIL TYPE: <u>C</u>	PIPE MATERIAL: <u>CMP</u>	ORIFICE #1 DIA <u>.05</u> INCH, ELEV <u>80.05</u>
		ORIFICE #2 DIA <u>1.9</u> INCH, ELEV <u>84.45</u>



ON-SITE DETENTION SYSTEM
 NOT TO SCALE (ENGINEER TO FILL IN BLANKS)

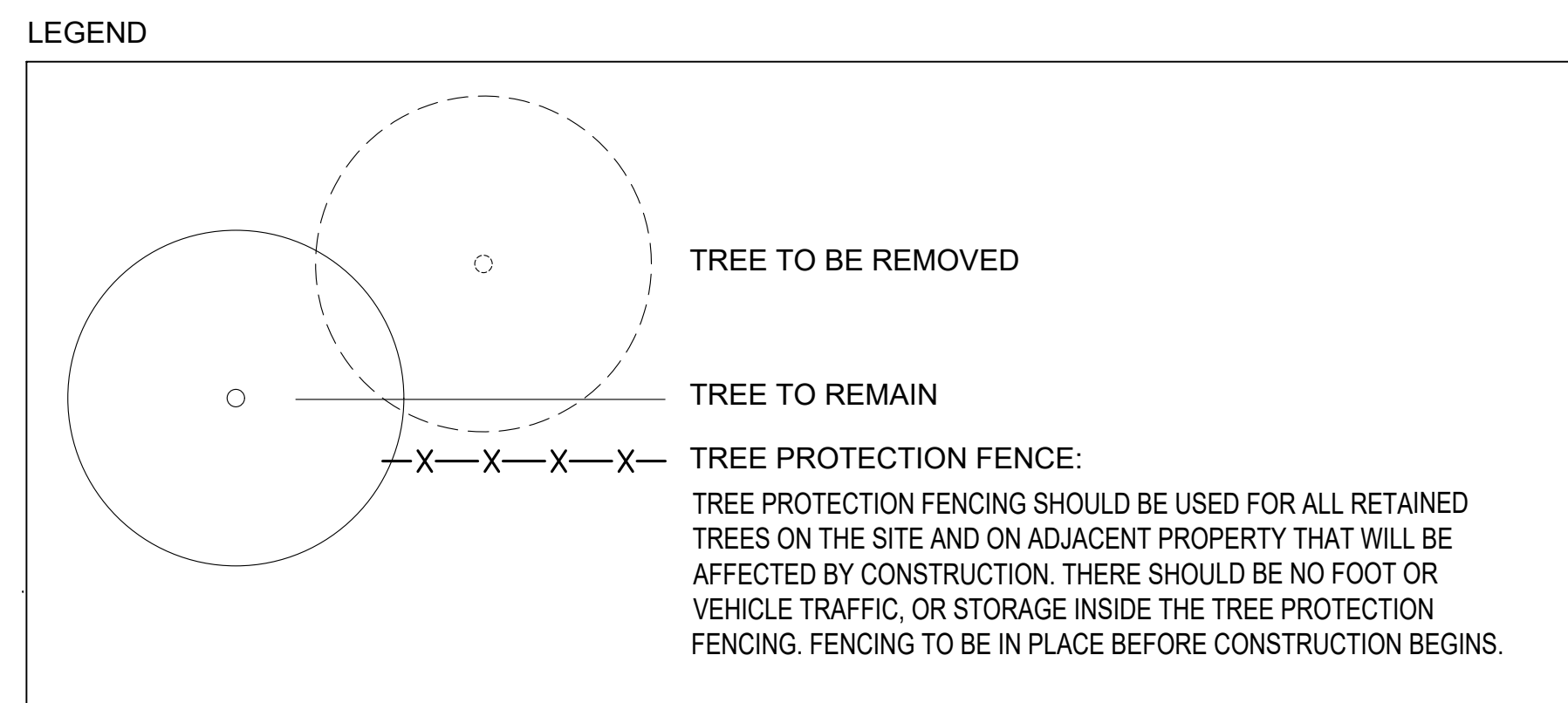
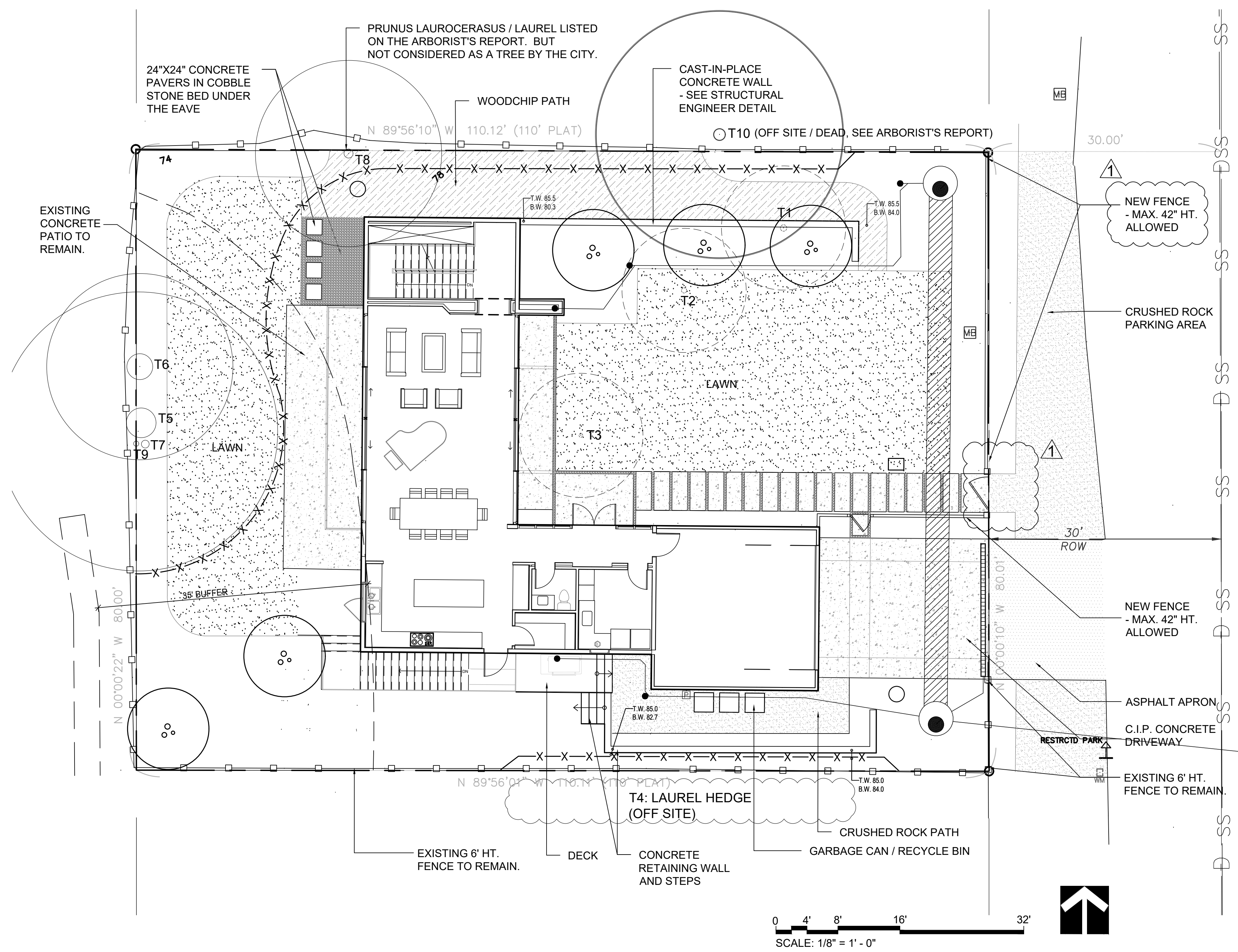
CONTROL STRUCTURE NOTES:

- ① USE A MINIMUM OF A 54 IN. DIAM. TYPE 2 CATCH BASIN. THE ACTUAL SIZE IS DEPENDENT ON CONNECTING PIPE MATERIAL AND DIAMETER.
- ② OUTLET PIPE: MIN. 6 INCH.
- ③ METAL PARTS: CORROSION RESISTANT. NON-GALVANIZED PARTS PREFERRED. GALVANIZED PIPE PARTS TO HAVE ASPHALT TREATMENT 1.
- ④ FRAME AND LADDER OR STEPS OFFSET SO:
 - A. CLEANOUT GATE IS VISIBLE FROM TOP;
 - B. CLIMB-DOWN SPACE IS CLEAR OF RISER AND CLEANOUT GATE;
 - C. FRAME IS CLEAR OF CURB.
- ⑤ IF METAL OUTLET PIPE CONNECTS TO CEMENT CONCRETE PIPE, OUTLET PIPE TO HAVE SMOOTH O.D. EQUAL TO CONCRETE PIPE I.D. LESS 1/4 IN.
- ⑥ PROVIDE AT LEAST ONE 3 X 0.090 GAUGE SUPPORT BRACKET ANCHORED TO CONCRETE WALL WITH 5/8 IN. STAINLESS STEEL EXPANSION BOLTS OR EMBEDDED SUPPORTS 2 IN. INTO CATCH BASIN WALL (MAXIMUM 3'-0" VERTICAL SPACING).
- ⑦ THE SHEAR GATE SHALL BE MADE OF ALUMINUM ALLOY IN ACCORDANCE WITH ASTM B 26M AND ASTM B 275, DESIGNATION ZG32A; OR CAST IRON IN ACCORDANCE WITH ASTM A 48, CLASS 30B. THE LIFT HANDLE SHALL BE MADE OF A SIMILAR METAL TO THE GATE (TO PREVENT GALVANIC CORROSION), IT MAY BE OF SOLID ROD OR HOLLOW TUBING, WITH ADJUSTABLE HOOK AS REQUIRED. A NEOPRENE RUBBER GASKET IS REQUIRED BETWEEN THE RISER MOUNTING FLANGE AND THE GATE FLANGE. INSTALL THE GATE SO THAT THE LEVEL-LINE MARK IS LEVEL WHEN THE GATE IS CLOSED. THE MATING SURFACES OF THE LID AND THE BODY SHALL BE MACHINED FOR PROPER FIT. ALL SHEAR GATE BOLTS SHALL BE STAINLESS STEEL.
- ⑧ THE UPPER CATCH BASIN IS REQUIRED IF THE LENGTH OF THE DETENTION PIPE IS GREATER THAN 50 FT.

ON-SITE DETENTION SYSTEM NOTES:

1. CALL DEVELOPMENT SERVICES (206-275-7605) 24 HOURS IN ADVANCE FOR A DETENTION SYSTEM INSPECTION BEFORE BACKFILLING AND FOR FINAL INSPECTIONS.
2. RESPONSIBILITY FOR OPERATION AND MAINTANANCE OF DRAINAGE SYSTEMS ON PRIVATE PROPERTY IS RESPONSIBILITY OF THE PROPERTY OWNER. MATERIAL ACCUMULATED IN THE STORAGE PIPE MUST BE REMOVED FROM CATCH BASINS TO ALLOW PROPER OPERATION. THE OUTLET CONTROL ORIFICE MUST BE KEPT OPEN AT ALL TIMES.
3. PIPE MATERIAL, JOINT, AND PROTECTIVE TREATMENT SHALL BE IN ACCORDANCE WITH SECTION 7.04 AND 9.05 OF THE WSDOT STANDARD SPECIFICATION FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION, LATEST VERSION. SUCH MATERIALS INCLUDE THE FOLLOWING, LINED CORRUGATED POLYETHYLENE PIPE (LCP), ALUMINIZED TYPE 2 CORRUGATED STEEL PIPE AND PIPE ARCH (MEETS AASHTO DESIGNATIONS M274 AND M36), CORRUGATED OR SPIRAL RIB ALUMINUM PIPE, OR REINFORCED CONCRETE PIPE. CORRUGATED STEEL PIPE IS NOT ALLOWED.
4. FOOTING DRAINS SHALL NOT BE CONNECTED TO THE DETENTION SYSTEM.

File: \\Farm\proj\ESM-0085\1954\03\018\plans\195403018-Paek Residence CIVIL_2019-04-18.dwg
 Plotted: 8/7/2019 10:04 AM
 Plotted By: Brandon Loucks



TOTAL EXISTING TREES ON SITE

KEY #	DBH / TYPE	CLASSIFICATION	STATUS	# OF REPLACEMENT TREE REQUIRED
T1	10" DBH MALUS SP. / APPLE	LARGE	REMOVE	2
T2	15" DBH MALUS SP. / APPLE	LARGE	"	2
T3	8" DBH PRUNUS SP. / CHERRY	SMALL	"	1
T5	47" DBH POPLUS NIGRA / LOMBARDY POPLAR	EXCEPTIONAL	RETAIN	"
T6	43" DBH POPLUS NIGRA / LOMBARDY POPLAR	EXCEPTIONAL	"	"
T7	12" DBH FRAXINUS SP. / ASH	LARGE	"	"
T9	7.5" DBH ACER MACROPHYLLUM / BIG LEAF MAPLE	LARGE	"	"
TOTAL # OF REPLACEMENT TREE REQUIRED:				5

TOTAL EXISTING LARGE / EXCEPTIONAL TREES ON SITE: 6 TREES

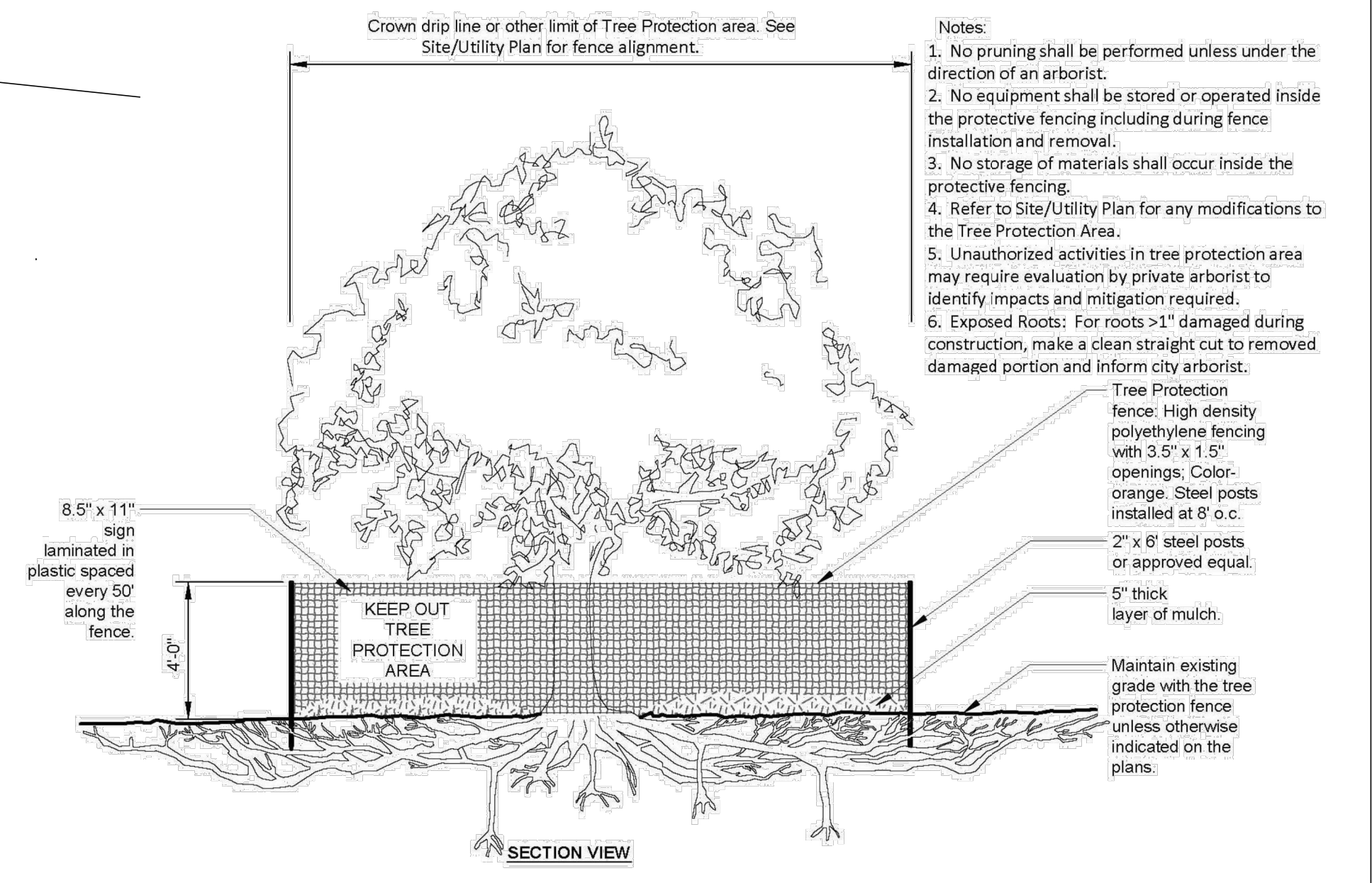
TOTAL EXISTING LARGE / EXCEPTIONAL TREES TO BE RETAINED: 4 TREES

(4/6*100 = 66.6% RETAINED)

MIN. 30% REQUIRED. THEREFORE OK

REPLACEMENT TREE SCHEDULE

SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY.	REMARKS
TREES				
	Acer circinatum Vine Maple	Min. 1.5" Cal. at base of trunk	5	Multi-trunk, full habit, well branched
TOTAL 5 TREES				5 TREES REQUIRED, THEREFORE OK



A TREE PROTECTION FENCE DETAIL
SCALE: NTS

PROJECT
PAEK RESIDENCE

ADDRESS
2215 80TH AVE SE
MERCER ISLAND, WA 98040

CLIENT
TIMOTHY PAEK

NO.	ISSUED	DATE
1	REVISIONS	8/9/2019

REVISIONS

DRAWING STATUS

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

ANR
LANDSCAPE DESIGN

22310 98th Ave. W
Edmonds, WA 98020
p. 206.818.3610

STATE OF WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT

Timothy Paek
ANRI N. RAPELLIE
CERTIFICATE NO. 1055

STAMP

DRAWING TITLE
LANDSCAPE PLAN

DRAWN
ANR

DESIGNED
ANR

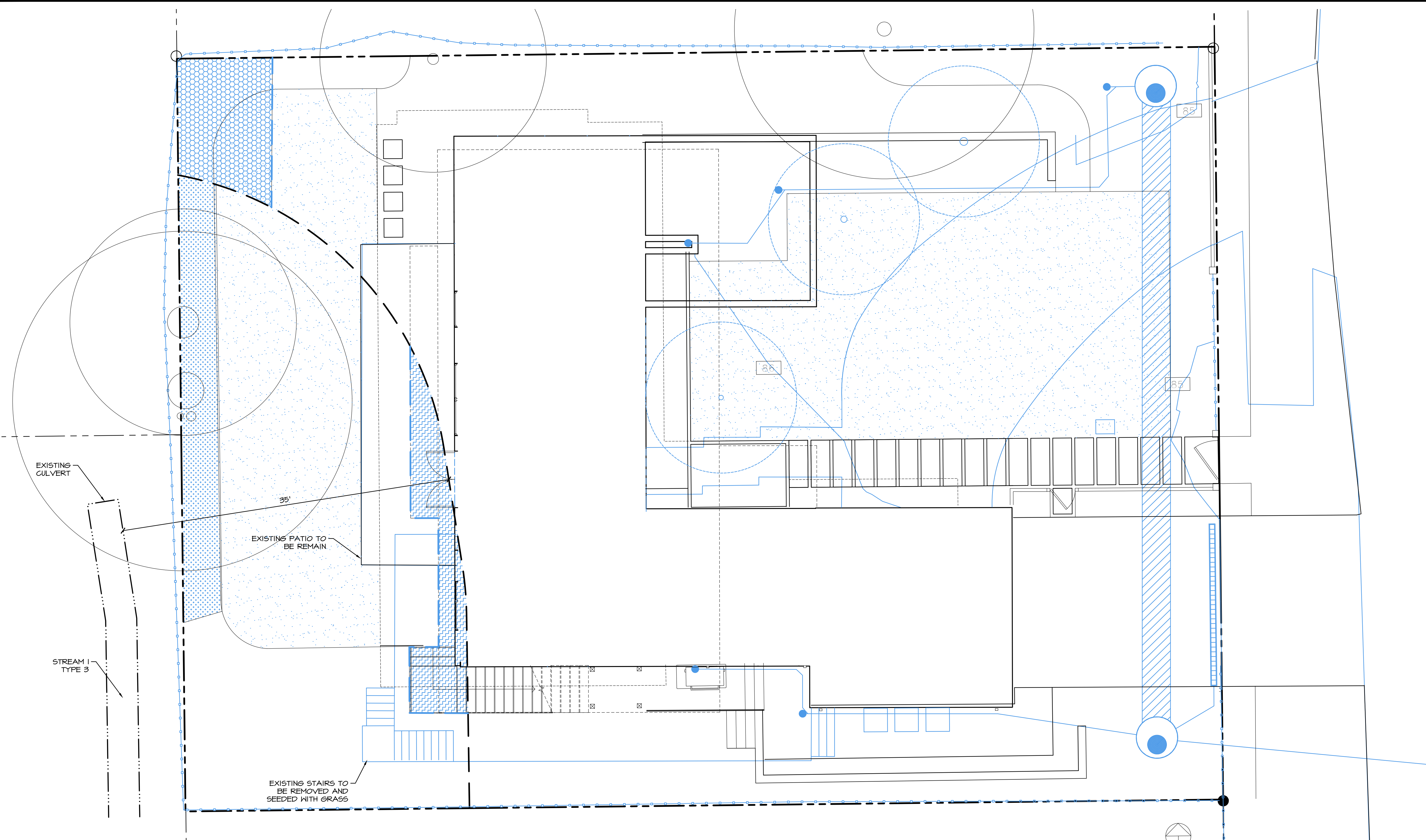
DATE
04/30/19

GRAPHIC
SCALE
As indicated

PROJECT NO.
18-009

DRAWING NO.
L1.0

REVISION NO.



PLAN LEGEND

- PROPERTY LINE
- ORDINARY HIGH WATER LINE OF TYPE 3 STREAM
- 35' STANDARD STREAM BUFFER
- PROPOSED BUFFER

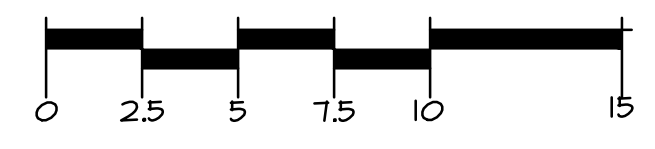
IMPACT LEGEND

- [Hatched Box] BUFFER REDUCTION 141 SF

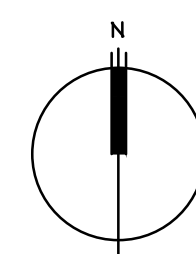
MITIGATION LEGEND

- [Dotted Box] BUFFER REPLACEMENT 141 SF
- [Cross-hatched Box] STREAM BUFFER ENHANCEMENT 187 SF

GRAPHIC SCALE
(IN FEET)



SCALE: 1:5



GENERAL NOTES

1. BASE INFORMATION PROVIDED BY MZA ARCHITECTURE, 600 108TH AVE NE, SUITE 108, BELLEVUE, WA 98004, (425) 554-7888.

AOA
Environmental
Planning &
Landscape
Architecture

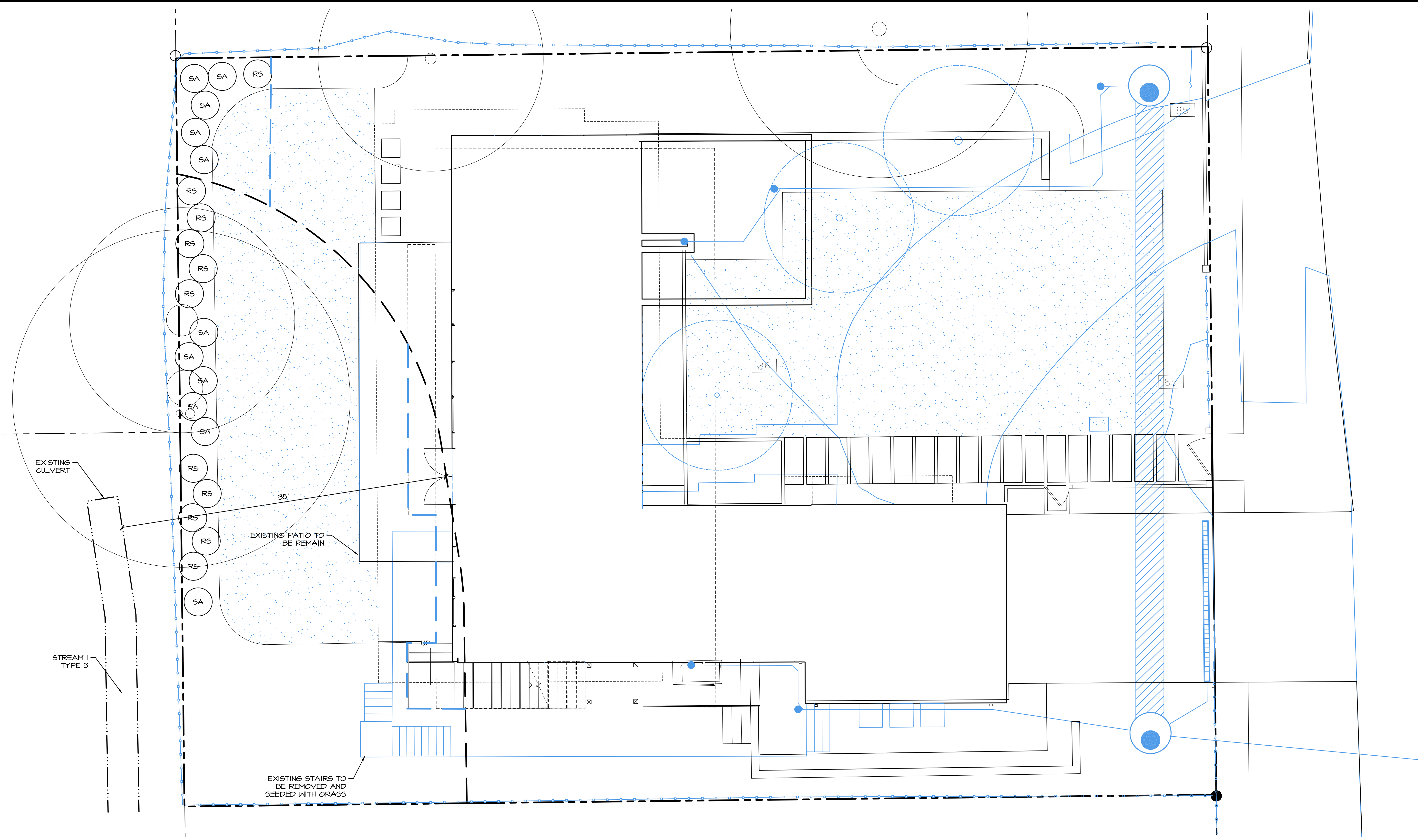
Altmann Oliver Associates, LLC
Office (425) 333-4558 Fax (425) 333-4509
PO Box 378 Camanion, WA 98014

BUFFER AVERAGING PLAN
PAEK RESIDENCE
2215 80TH AVE SE
MERCER ISLAND, WA 98040

Revisions	Date	By
REVISIONS PER CITY	8/20/19	SO

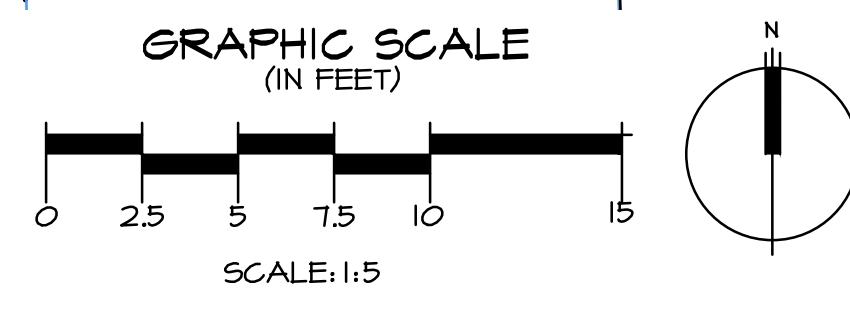
Date: 04-30-19
Scale: AS NOTED
Project#: 5200

Sheet # **N-1**



PLANT SCHEDULE

KEY	SCIENTIFIC NAME	COMMON NAME	SPACING	QTY.	SIZE (MIN.)	NOTES
RS	RIBES SANGUINEUM	RED CURRANT	3' O.C.	11	1 GAL.	MULTI-STEM (3 MIN.)
SA	SYMPHORICARPOS ALBUS	SNOWBERRY	3' O.C.	11	1 GAL.	MULTI-STEM (3 MIN.)



GENERAL NOTES

- BASE INFORMATION PROVIDED BY MZA ARCHITECTURE, 600 108TH AVE NE, SUITE 108, BELLEVUE, WA 98004, (425) 554-7888.

**PLANTING PLAN
 PAEK RESIDENCE
 2215 80TH AVE SE
 MERCER ISLAND, WA 98040**

Revisions	By	Date
REVISIONS PER CITY		8/20/19

Date: 04-30-19
 Scale: AS NOTED
 Project#: 5200

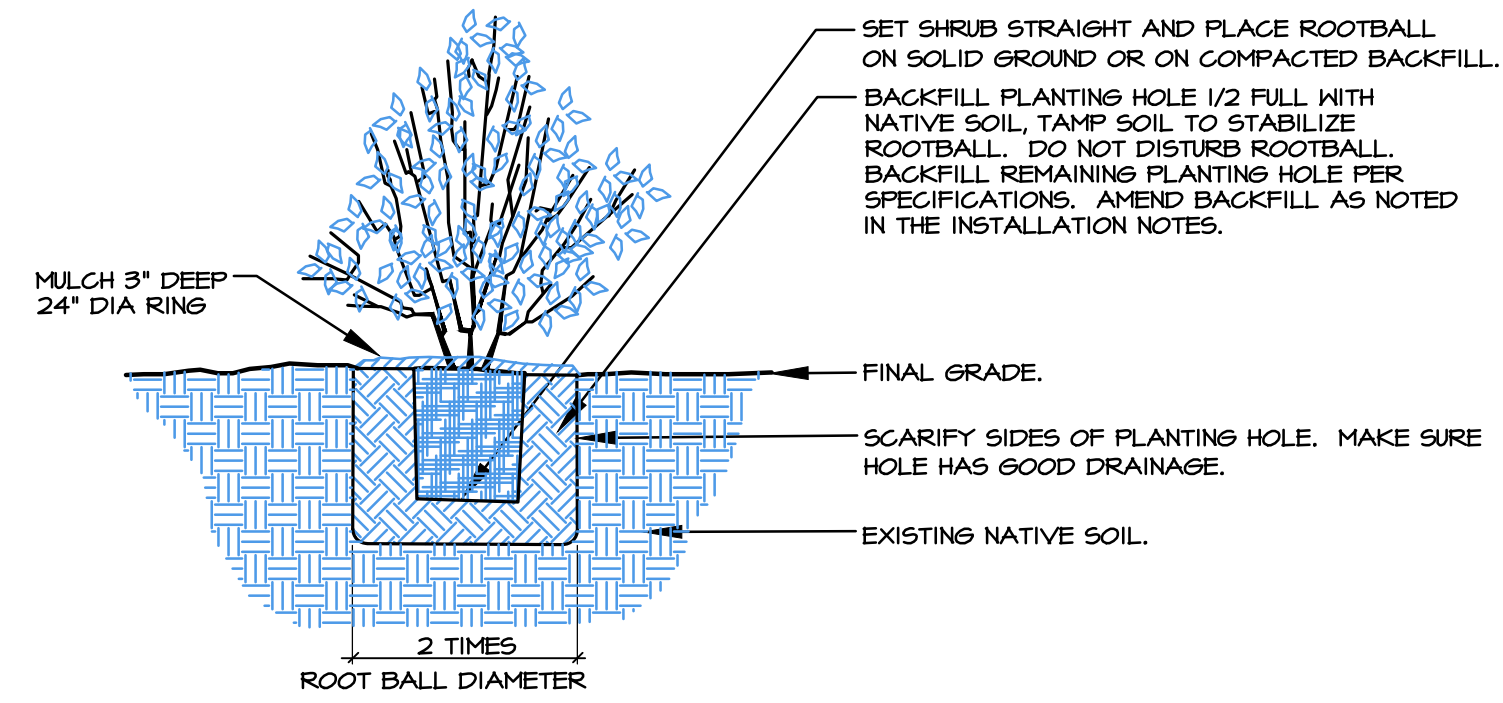
CONSTRUCTION SPECIFICATIONS

- ALL PLANTS SHOULD BE INSTALLED BETWEEN DECEMBER 1ST AND MARCH 15TH, UNLESS SUPPLEMENTAL IRRIGATION IS PROVIDED.
- INTERMEDIATE INSPECTIONS. ALL PLANTS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE DESIGNER AND/OR WETLAND BIOLOGIST PRIOR TO INSTALLATION. CONDITION OF ROOTS OF A RANDOM SAMPLE OF PLANTS WILL BE INSPECTED, AS WELL AS ALL ABOVEGROUND GROWTH ON ALL PLANTS. ROOTS OF ANY BARE ROOT PLANTS, IF PERMITTED FOR USE, WILL BE INSPECTED. PLANT MATERIAL MAY BE APPROVED AT THE SOURCE, AT THE DISCRETION OF THE LANDSCAPE DESIGNER AND THE WETLAND BIOLOGIST, BUT ALL MATERIAL MUST BE RE-INSPECTED AND APPROVED ON THE SITE PRIOR TO INSTALLATION. PLANT LOCATIONS SHALL ALSO BE INSPECTED AND APPROVED PRIOR TO PLANTING.
- ALL PLANTS SHALL BE PIT-PLANTED IN PLANTING PITS EXCAVATED 2X THE DIAMETER OF THE PLANT. PITS SHALL BE BACKFILLED WITH A 30/70 MIX OF STEERCO TO NATIVE SOIL. PITS SHALL BE AMENDED WITH A HYDRATED SOIL POLYMER (INSTALLED AT RATES PER MANUFACTURER'S SPECIFICATIONS). PLANTS SHALL BE INSTALLED 3" HIGH AND SURFACED MULCHED TO A DEPTH OF 3" WITH PACIFIC GARDEN MULCH PLACED CONTINUOUSLY THROUGHOUT THE PLANTING BED.
- ALL PLANTS SHALL BE NURSERY GROWN (IN WESTERN WA OR OR) FOR AT LEAST 1 YEAR FROM PURCHASE DATE, FREE FROM DISEASE OR PESTS, WELL-ROOTED, BUT NOT ROOT-BOUND AND TRUE TO SPECIES.
- PLANT LAYOUT SHALL BE APPROVED BY AOA PRIOR TO INSTALLATION AND APPROVED UPON COMPLETION OF PLANTING.
- UPON COMPLETION OF PLANTING, ALL PLANTS SHALL BE THOROUGHLY WATERED.
- UPON APPROVAL OF PLANTING INSTALLATION BY AOA, THE CITY OF MERCER ISLAND WILL BE NOTIFIED TO CONDUCT A SITE REVIEW FOR FINAL APPROVAL OF CONSTRUCTION.
- MAINTENANCE SHALL BE IMPLEMENTED ON A REGULAR BASIS ACCORDING TO THE SCHEDULE BELOW.

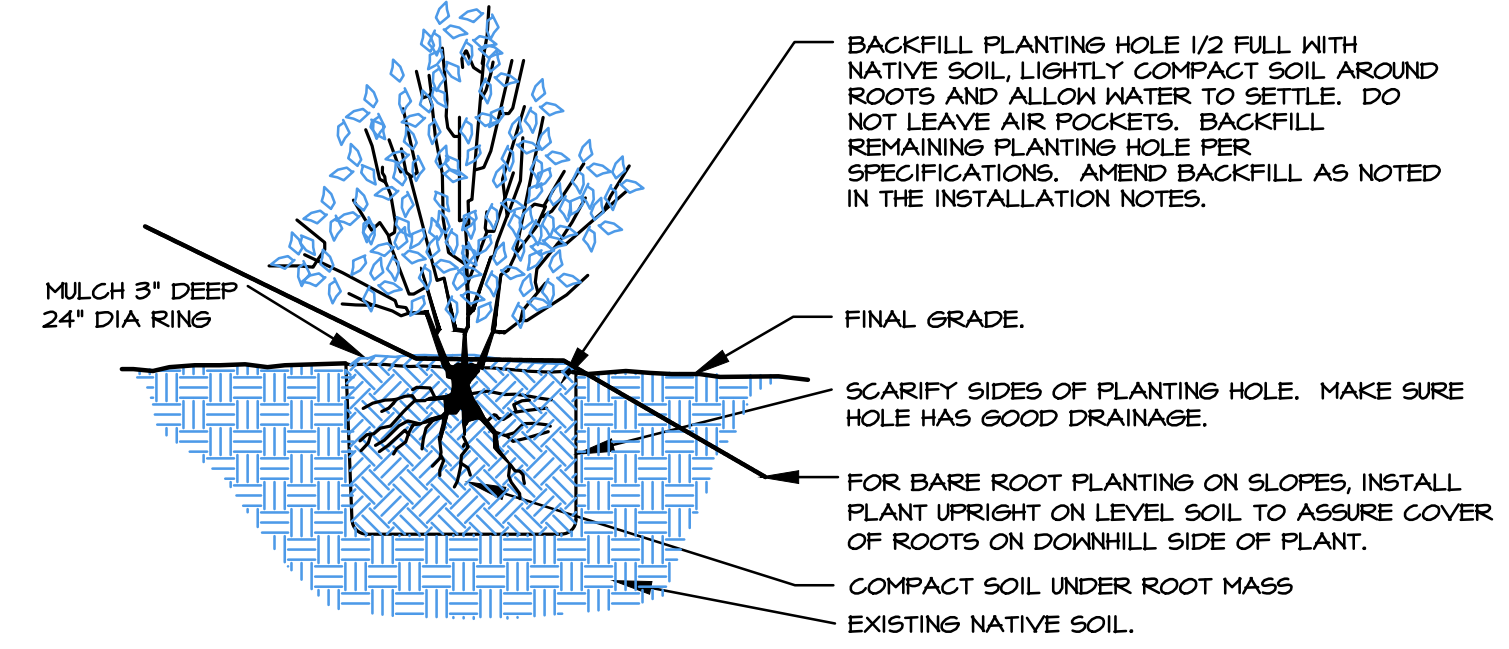
ANNUAL MAINTENANCE SCHEDULE

MAINTENANCE ITEM	J	F	M	A	M	J	J	A	S	O	N	D
WATERING - YEARS 1 & 2							Ø	Ø	Ø	Ø		
WEED CONTROL												
GENERAL MAINT.												

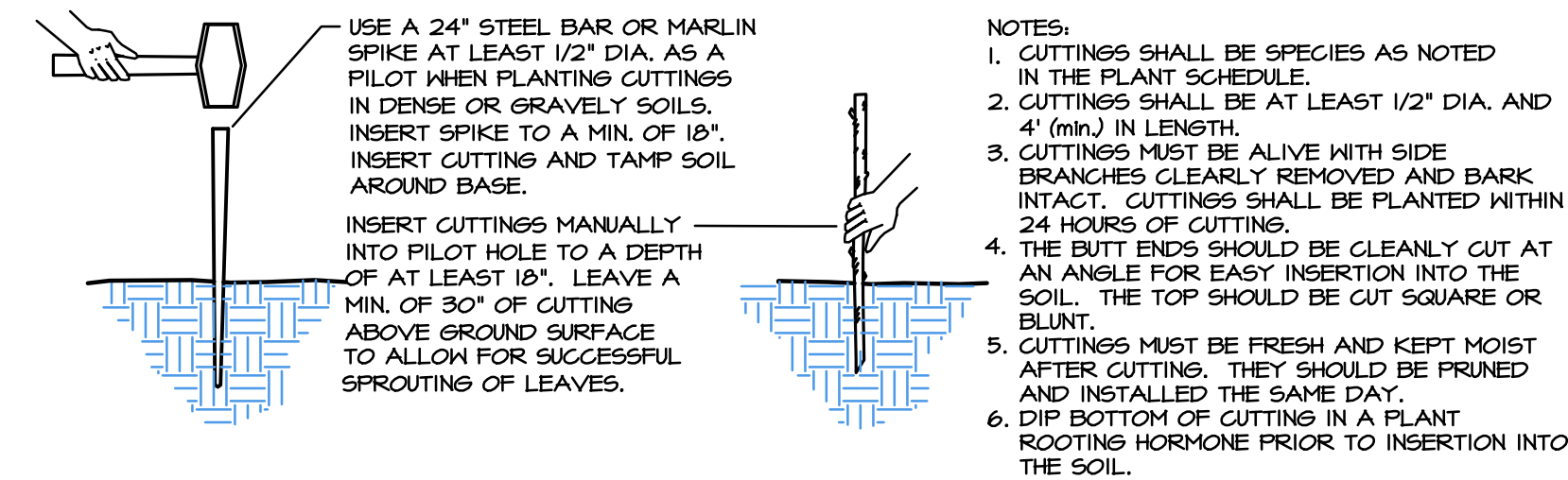
1-Ø = NUMBER OF TIMES TASK SHALL BE PERFORMED PER MONTH.



1 CONTAINER PLANTING DETAIL (TYP.)
SCALE: NTS



2 BARE-ROOT PLANTING DETAIL (TYP.)
SCALE: NTS



3 CUTTING INSTALLATION (TYP.)
SCALE: NTS



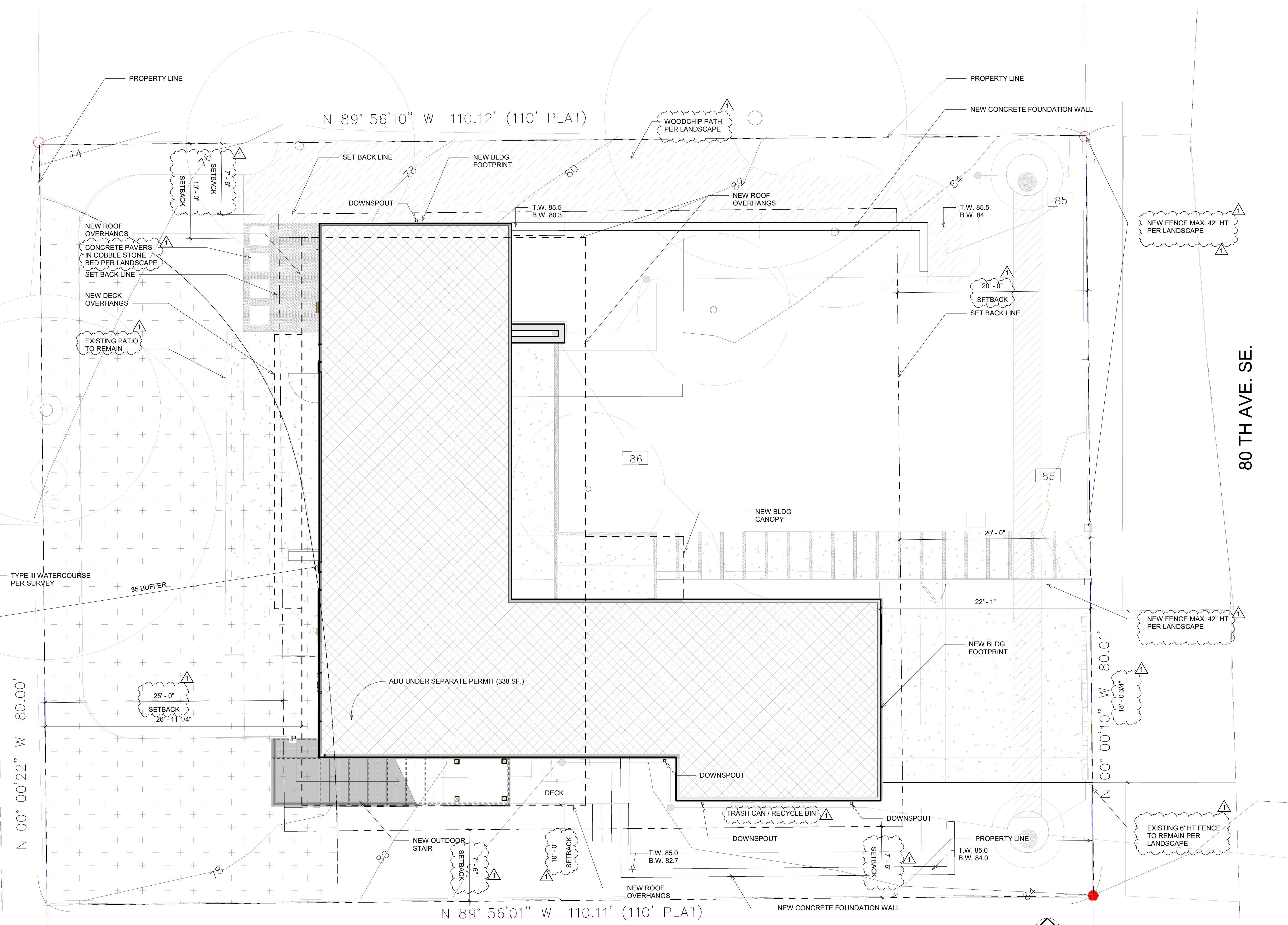
AOA
Environmental
Planning &
Landscape
Architecture
Altmann Oliver Associates, LLC
Office (425) 333-4535 Fax (425) 333-4509
PO Box 578 Camanion, WA 98014

SPECIFICATIONS & DETAILS
PAEK RESIDENCE
2215 80TH AVE SE
MERCER ISLAND, WA 98040

Revisions	Date	By
REVISIONS PER CITY	8/20/19	SO


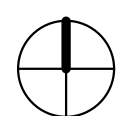
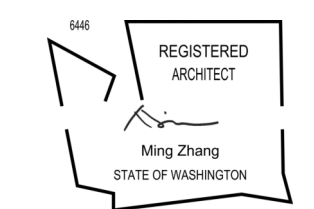
Date: 04-30-19
Scale: AS NOTED
Project#: 5200

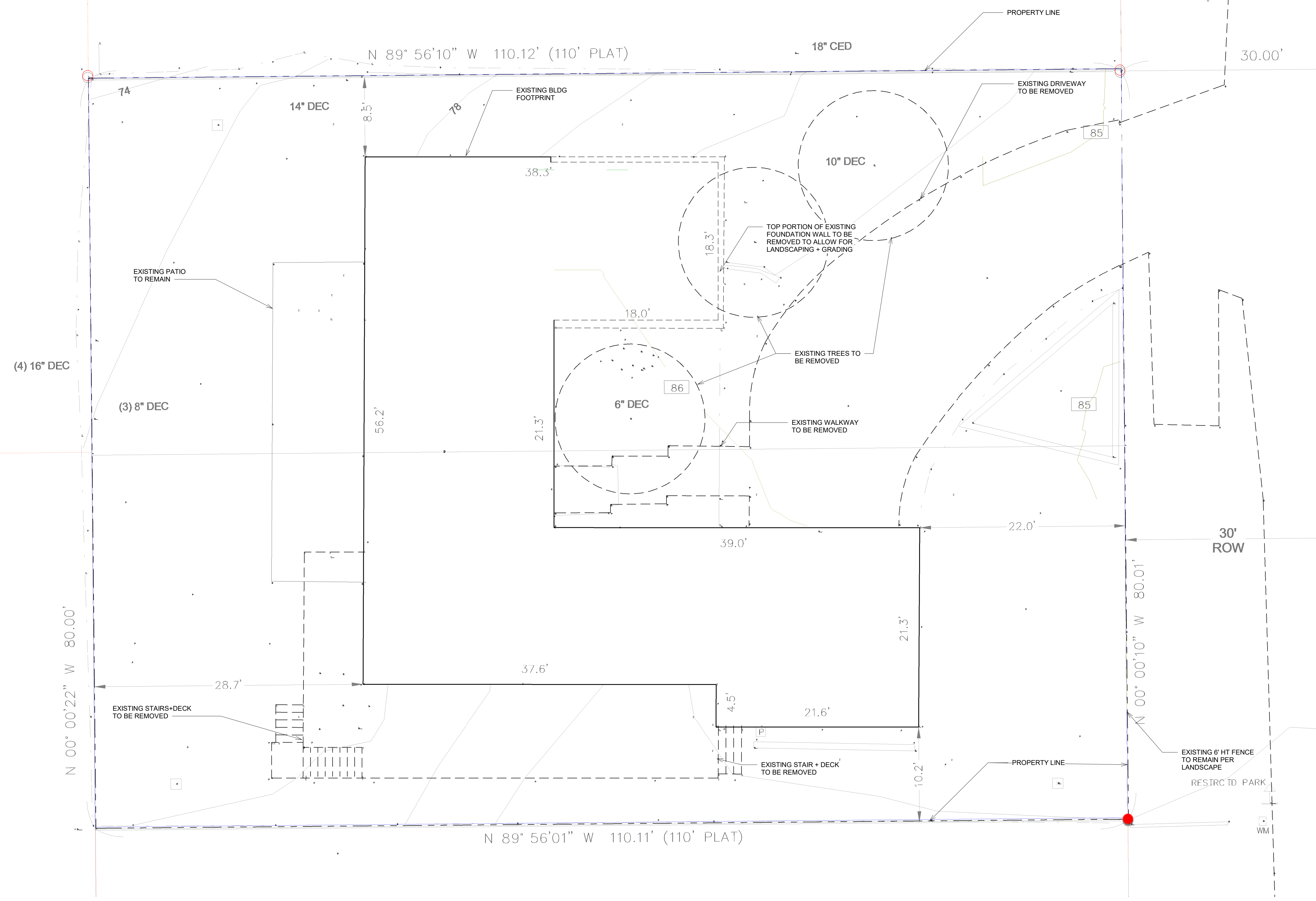
Sheet # **N-3**




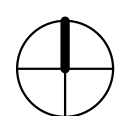
1 Site_02
Scale: 3/16" = 1'-0"

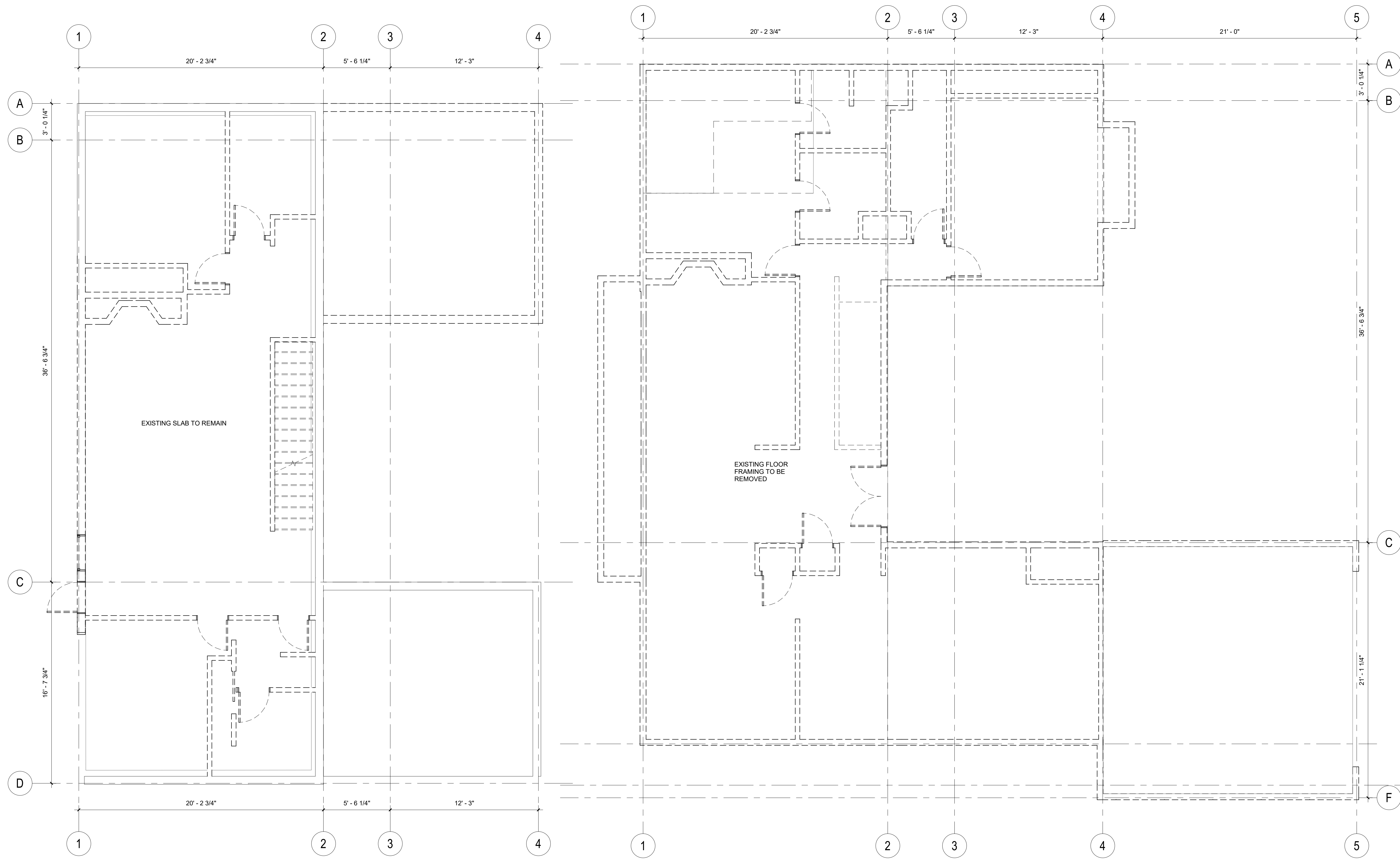
NOTE:
ALL JAPANESE KNOTWEED (POLYGONUM CUSPIDATUM) AND REGULATED CLASS A, REGULATED CLASS B, AND REGULATED CLASS C WEEDS IDENTIFIED ON THE KING COUNTY NOXIOUS WEED LIST AS AMENDED SHALL BE REMOVED FROM THE PROPERTY.

PROJECT PAEK RESIDENCE								
ADDRESS 2215 80th Ave SE Mercer Island, WA 98040								
CLIENT Timothy & Elen Paek								
<p>1 Comment 1 08/16/19</p> <table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> <p>REVISIONS</p> <p>DRAWING STATUS</p> <p>Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. ALL DIMENSIONS ARE SHOWN IN IMPERIAL.</p>			No.	Description	Date			
No.	Description	Date						
 <p>ARCHITECTURE</p> <p>600 108th Ave NE Suite 108 Bellevue WA 98004 425.559.7888 contact@mza.com</p>								
STAMP								
								
DRAWING TITLE SITE PLAN								
DRAWN		DESIGNED						
DATE 08/16/19								
GRAPHIC SCALE 3/16" = 1'-0"								
PROJECT NO. 18-009								
DRAWING NO. A1.1	REVISION NO. 1							




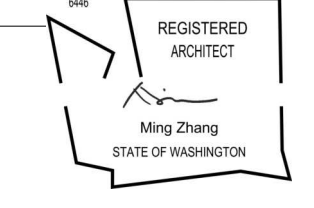
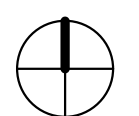
1 SITE PLAN - DEMO
Scale: 3/16" = 1'-0"

PROJECT PAEK RESIDENCE								
ADDRESS 2215 80th Ave SE Mercer Island, WA 98040								
CLIENT Timothy & Elen Paek								
<p>1 Comment 1 08/16/19</p> <table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>			No.	Description	Date			
No.	Description	Date						
REVISIONS								
DRAWING STATUS								
<p>Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. ALL DIMENSIONS ARE SHOWN IN IMPERIAL.</p>								
 ARCHITECTURE 600 108th Ave NE Suite 1108 Bellevue WA 98004 425.559.7888 contact@mzarus.com								
STAMP								
DRAWING TITLE SITE PLAN - DEMO								
DRAWN Author	DESIGNED Designer							
DATE 08/19/19								
GRAPHIC SCALE 3/16" = 1'-0"								
PROJECT NO. 18-009								
DRAWING NO. A1.2	REVISION NO. 1							



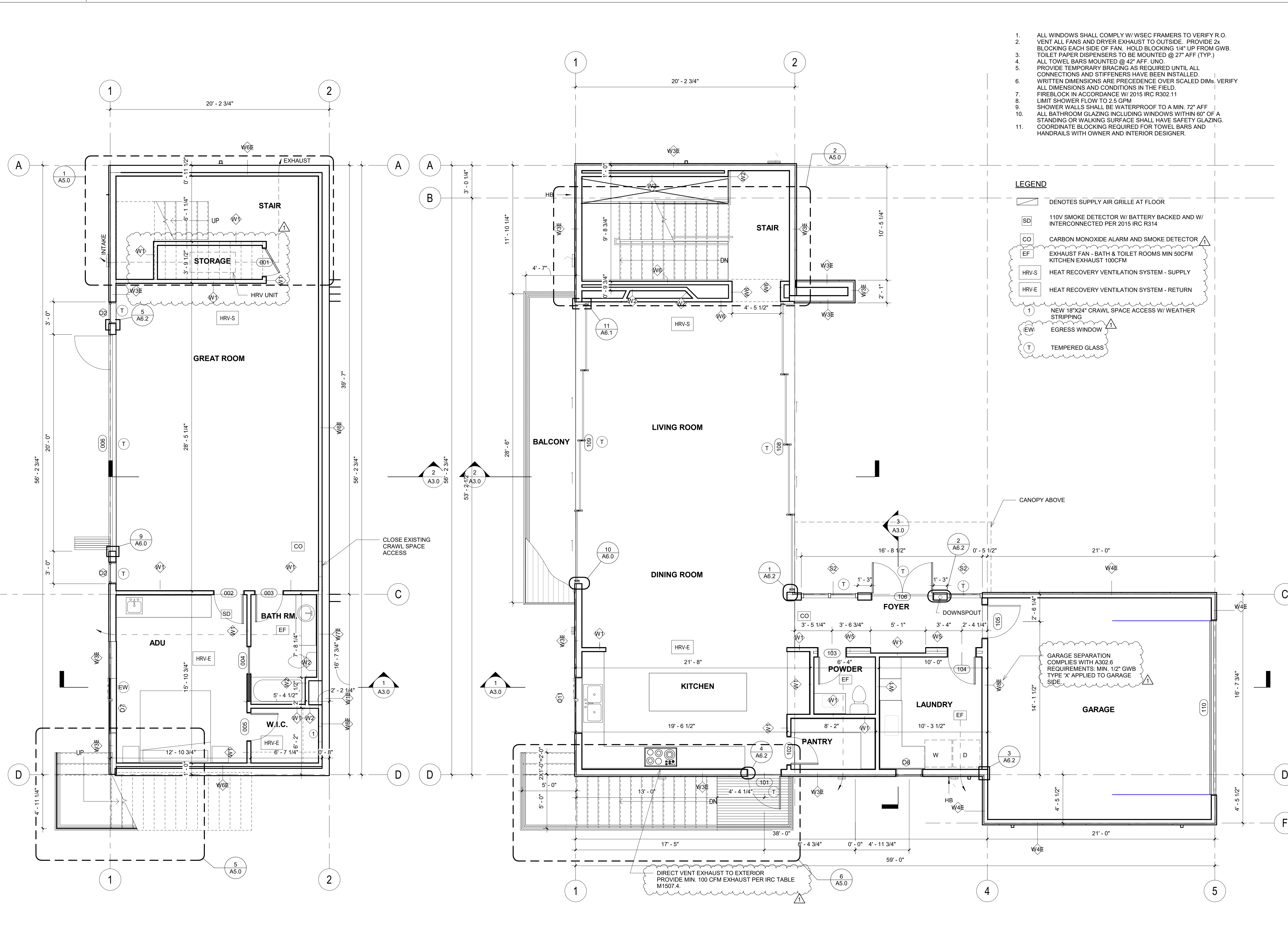
1 BASEMENT LEVEL - DEMO PLAN
Scale: 1/4" = 1'-0"

2 ENTRY LEVEL - DEMO PLAN
Scale: 1/4" = 1'-0"

PROJECT PAEK RESIDENCE		
ADDRESS 2215 80th Ave SE Mercer Island, WA 98040		
CLIENT Timothy & Elen Paek		
No.	Description	Date
REVISIONS		
DRAWING STATUS		
<p>Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. ALL DIMENSIONS ARE SHOWN IN IMPERIAL.</p>		
 ARCHITECTURE 600 108th Ave NE Suite 108 Bellevue WA 98004 425.559.7888 contact@mzaus.com		
STAMP 		
DRAWING TITLE FLOOR PLANS		
DRAWN Author	DESIGNED Designer	
DATE 08/16/19		
GRAPHIC SCALE 1/4" = 1'-0"		
PROJECT NO. 18-009		
DRAWING NO. A2.0	REVISION NO.	

24"x36" ARCH D - SHEET SIZE

FILE NAME:
PLOT DATE:



1. ALL WINDOWS SHALL COMPLY W/ WSEC FRAMERS TO VERIFY R.O.
2. VENT ALL FANS AND DRYER EXHAUST TO OUTSIDE. PROVIDE 2x BLOCKING EACH SIDE OF FAN. HOLD BLOCKING 1/4" UP FROM GWB.
3. TOILET PAPER DISPENSERS TO BE MOUNTED @ 27" AFF. (TYP.)
4. ALL TOWEL BARS MOUNTED @ 42" AFF. UNO.
5. PROVIDE TEMPORARY BRACING AS REQUIRED UNTIL ALL CONNECTIONS AND STIFFENERS HAVE BEEN INSTALLED.
6. WRITTEN DIMENSIONS ARE PRECEDENCE OVER SCALED DIMS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD.
7. FIREBLOCK IN ACCORDANCE W/ 2015 IRC R302.11
8. LIMIT SHOWER FLOW TO 2.5 GPM
9. SHOWER WALLS SHALL BE WATERPROOF TO A MIN. 72" AFF
10. ALL BATHROOM GLAZING INCLUDING WINDOWS WITHIN 60" OF A STANDING OR WALKING SURFACE SHALL HAVE SAFETY GLAZING. COORDINATE BLOCKING REQUIRED FOR TOWEL BARS AND HANDRAILS WITH OWNER AND INTERIOR DESIGNER.
- 11.

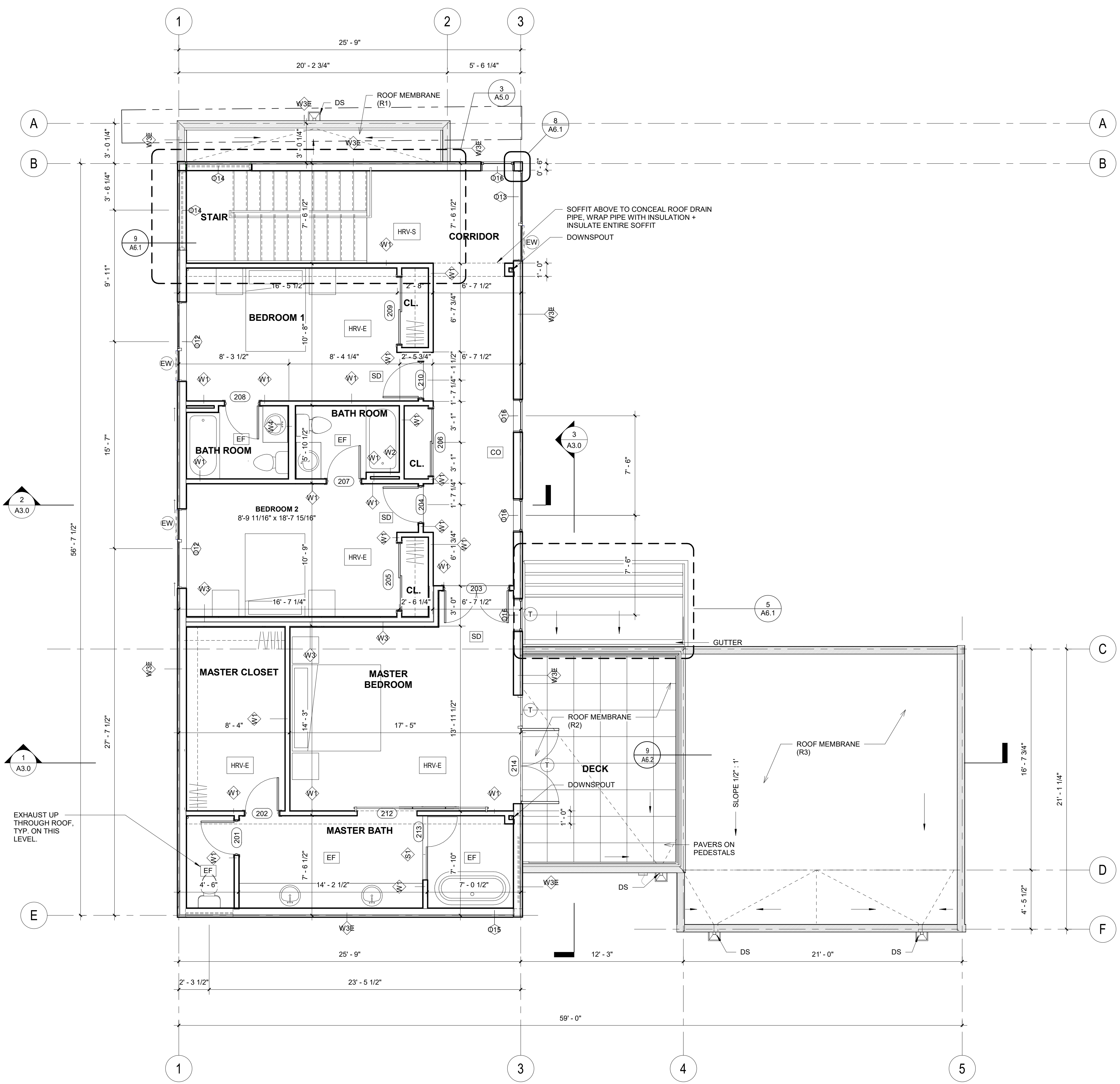
LEGEND

- DENOTES SUPPLY AIR GRILLE AT FLOOR
- 110V SMOKE DETECTOR W/ BATTERY BACKED AND W/ INTERCONNECTED PER 2015 IRC R314
- CARBON MONOXIDE ALARM AND SMOKE DETECTOR
- EXHAUST FAN - BATH & TOILET ROOMS MIN 50CFM KITCHEN EXHAUST 100CFM
- HEAT RECOVERY VENTILATION SYSTEM - SUPPLY
- HEAT RECOVERY VENTILATION SYSTEM - RETURN
- NEW 18"x24" CRAWL SPACE ACCESS W/ WEATHER STRIPPING
- EGRESS WINDOW
- TEMPERED GLASS

1 BASEMENT LEVEL
Scale: 1/4" = 1'-0"

2 ENTRY LEVEL
Scale: 1/4" = 1'-0"

PROJECT PAEK RESIDENCE								
ADDRESS 2215 80th Ave SE Mercer Island, WA 98040								
CLIENT Timothy & Elen Paek								
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 10%;">No.</th> <th style="width: 80%;">Comment</th> <th style="width: 10%;">Date</th> </tr> <tr> <td>1</td> <td>Comment 1</td> <td>08/16/19</td> </tr> </table>			No.	Comment	Date	1	Comment 1	08/16/19
No.	Comment	Date						
1	Comment 1	08/16/19						
REVISIONS								
DRAWING STATUS								
Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. ALL DIMENSIONS ARE SHOWN IN IMPERIAL.								
<p>ARCHITECTURE</p> <p>600 108th Ave NE Suite 108 Bellevue WA 98004 425.559.7888 contact@mza.us</p>								
STAMP								
DRAWING TITLE BASEMENT & GROUND FLOOR PLANS								
DRAWN Author	DESIGNED Designer							
DATE 08/16/19								
GRAPHIC SCALE As indicated								
PROJECT NO. 18-009								
DRAWING NO. A2.1	REVISION NO. 1							



1. ALL WINDOWS SHALL COMPLY W/ WSEC FRAMERS TO VERIFY R.O.
2. VENT ALL FANS AND DRYER EXHAUST TO OUTSIDE. PROVIDE 2x BLOCKING EACH SIDE OF FAN. HOLD BLOCKING 1/4" UP FROM GWB.
3. TOILET PAPER DISPENSERS TO BE MOUNTED @ 27" AFF (TYP.)
4. ALL TOWEL BARS MOUNTED @ 42" AFF. UNO.
5. PROVIDE TEMPORARY BRACING AS REQUIRED UNTIL ALL CONNECTIONS AND STIFFENERS HAVE BEEN INSTALLED.
6. WRITTEN DIMENSIONS ARE PRECEDENCE OVER SCALED DIMS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD.
7. FIREBLOCK IN ACCORDANCE W/ 2015 IRC R302.11
8. LIMIT SHOWER FLOW TO 2.5 GPM
9. SHOWER WALLS SHALL BE WATERPROOF TO A MIN. 72" AFF
10. ALL BATHROOM GLAZING INCLUDING WINDOWS WITHIN 60" OF A STANDING OR WALKING SURFACE SHALL HAVE SAFETY GLAZING. COORDINATE BLOCKING REQUIRED FOR TOWEL BARS AND HANDRAILS WITH OWNER AND INTERIOR DESIGNER.
- 11.

LEGEND

- DENOTES SUPPLY AIR GRILLE AT FLOOR
- 110V SMOKE DETECTOR W/ BATTERY BACKED AND W/ INTERCONNECTED PER 2015 IRC R314
- CARBON MONOXIDE ALARM AND SMOKE DETECTOR
- EXHAUST FAN - BATH & TOILET ROOMS MIN 50CFM
KITCHEN EXHAUST 100CFM
- HEAT RECOVERY VENTILATION SYSTEM - SUPPLY
- HEAT RECOVERY VENTILATION SYSTEM - RETURN
- NEW 18"x24" CRAWL SPACE ACCESS W/ WEATHER STRIPPING
- EGRESS WINDOW
- TEMPERED GLASS

PROJECT
PAEK RESIDENCE

ADDRESS
2215 80th Ave SE
Mercer Island, WA 98040

CLIENT
Timothy & Elen Paek

No.	Description	Date
REVISIONS		
DRAWING STATUS		

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. ALL DIMENSIONS ARE SHOWN IN IMPERIAL.



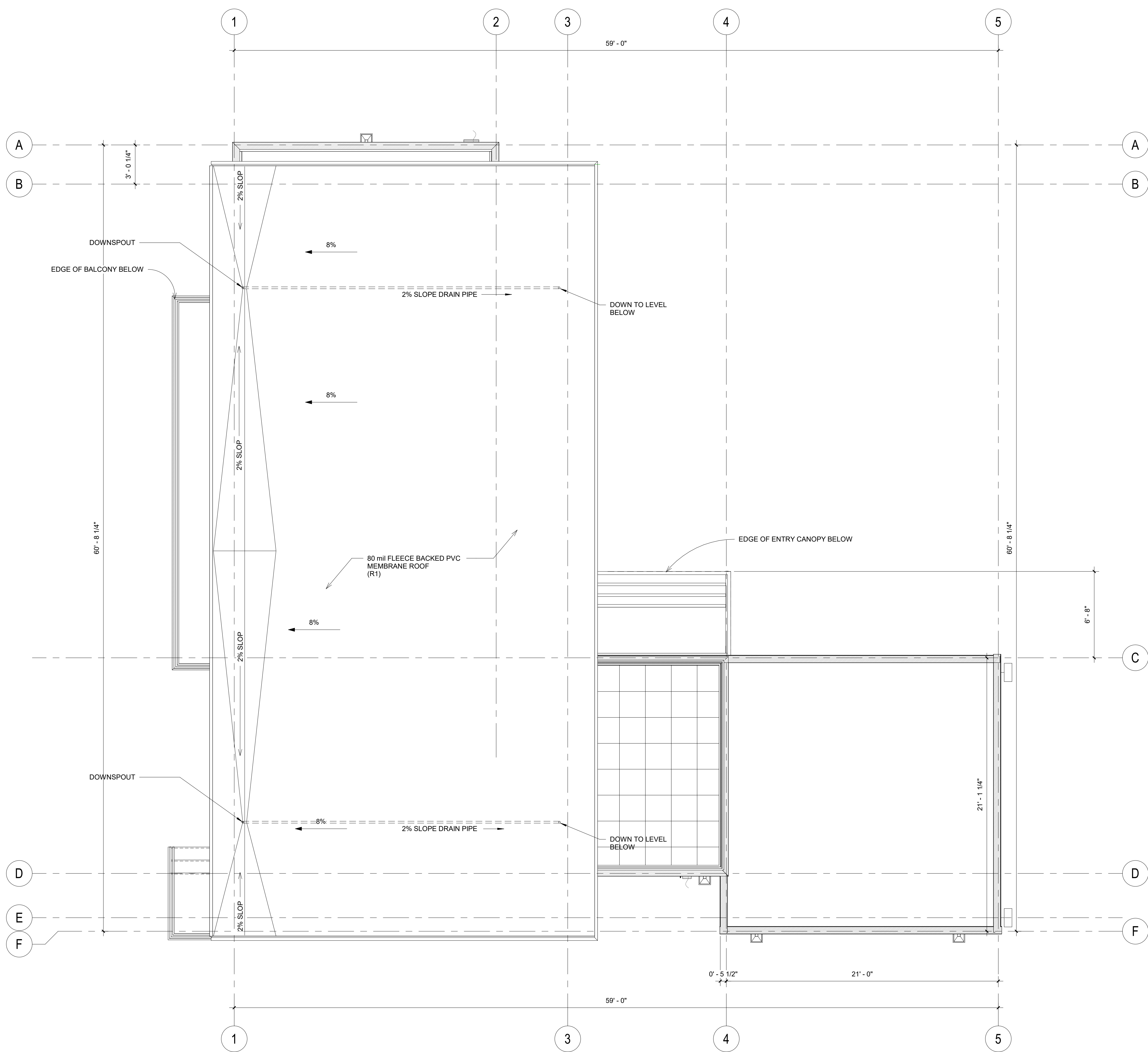
600 108th Ave NE
Suite 1108
Bellevue WA 98004

425.559.7888
contact@mza.us

STAMP

DRAWING TITLE UPPER LEVEL PLAN	
DRAWN Author	DESIGNED Designer
DATE 08/16/19	
GRAPHIC SCALE As indicated	
PROJECT NO. 18-009	
DRAWING NO. A2.2	REVISION NO.

1 UPPER LEVEL
Scale: 1/4" = 1'-0"



1 ROOF LEVEL
Scale: 1/4" = 1'-0"

1. ALL WINDOWS SHALL COMPLY W/ WSEC FRAMERS TO VERIFY R.O.
2. VENT ALL FANS AND DRYER EXHAUST TO OUTSIDE. PROVIDE 2x BLOCKING EACH SIDE OF FAN. HOLD BLOCKING 1/4" UP FROM GWB.
3. TOILET PAPER DISPENSERS TO BE MOUNTED @ 27" AFF. (TYP.)
4. ALL TOWEL BARS MOUNTED @ 42" AFF. UNO.
5. PROVIDE TEMPORARY BRACING AS REQUIRED UNTIL ALL CONNECTIONS AND STIFFENERS HAVE BEEN INSTALLED.
6. WRITTEN DIMENSIONS ARE PRECEDENCE OVER SCALED DIMS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD.
7. FIREBLOCK IN ACCORDANCE W/ 2015 IRC R302.11
8. LIMIT SHOWER FLOW TO 2.5 GPM
9. SHOWER WALLS SHALL BE WATERPROOF TO A MIN. 72" AFF
10. ALL BATHROOM GLAZING INCLUDING WINDOWS WITHIN 60" OF A STANDING OR WALKING SURFACE SHALL HAVE SAFETY GLAZING. COORDINATE BLOCKING REQUIRED FOR TOWEL BARS AND HANDRAILS WITH OWNER AND INTERIOR DESIGNER.
- 11.

LEGEND

- DENOTES SUPPLY AIR GRILLE AT FLOOR
- 110V SMOKE DETECTOR W/ BATTERY BACKED AND W/ INTERCONNECTED PER 2015 IRC R314
- CARBON MONOXIDE ALARM AND SMOKE DETECTOR
- EXHAUST FAN - BATH & TOILET ROOMS MIN 50CFM KITCHEN EXHAUST 100CFM
- HEAT RECOVERY VENTILATION SYSTEM - SUPPLY
- HEAT RECOVERY VENTILATION SYSTEM - RETURN
- NEW 18"x24" CRAWL SPACE ACCESS W/ WEATHER STRIPPING
- EGRESS WINDOW
- TEMPERED GLASS

PROJECT
PAEK RESIDENCE

ADDRESS
2215 80th Ave SE
Mercer Island, WA 98040

CLIENT
Timothy & Elen Paek

No.	Description	Date
REVISIONS		
DRAWING STATUS		

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

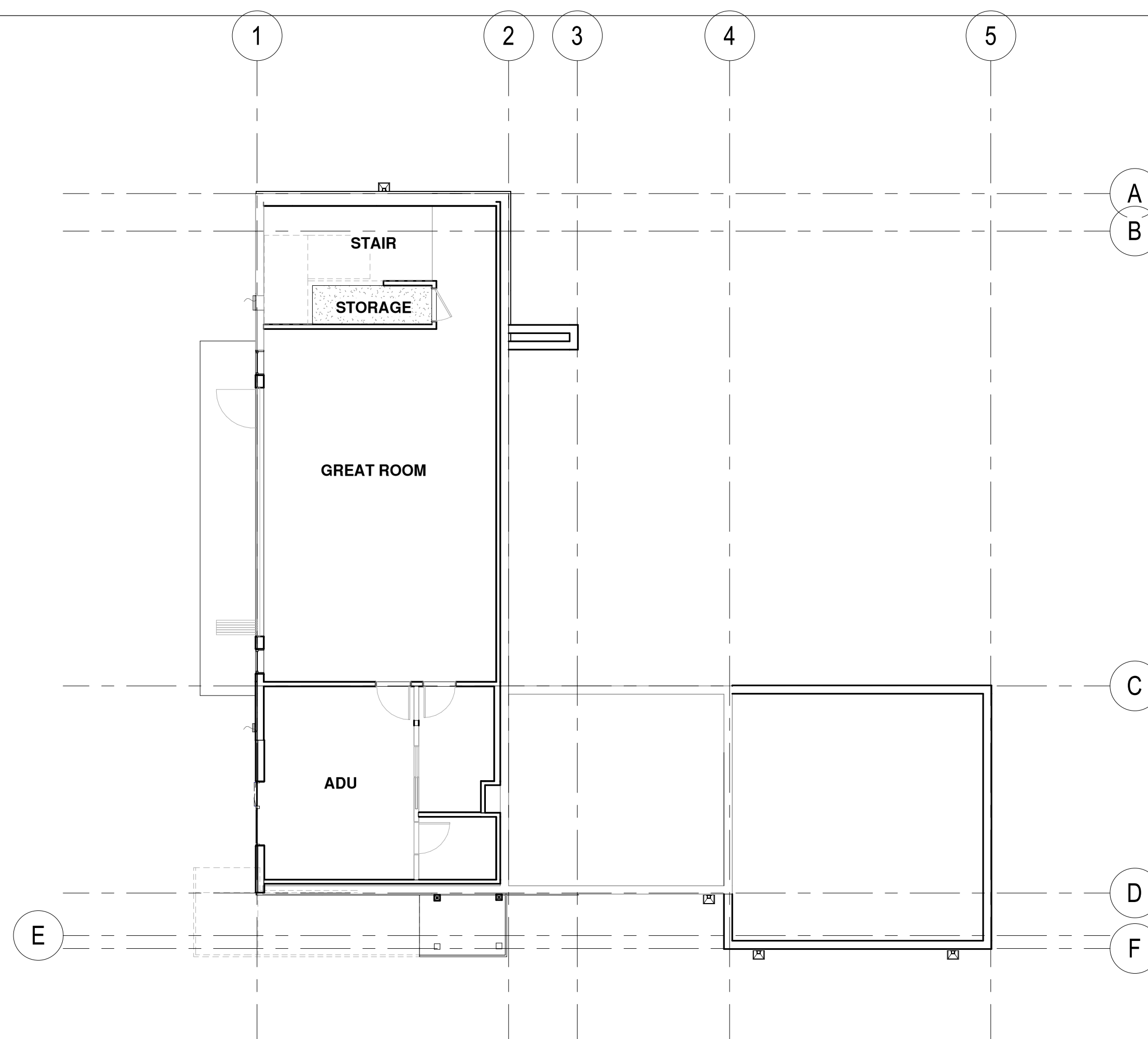


600 108th Ave NE
Suite 108
Bellevue WA 98004

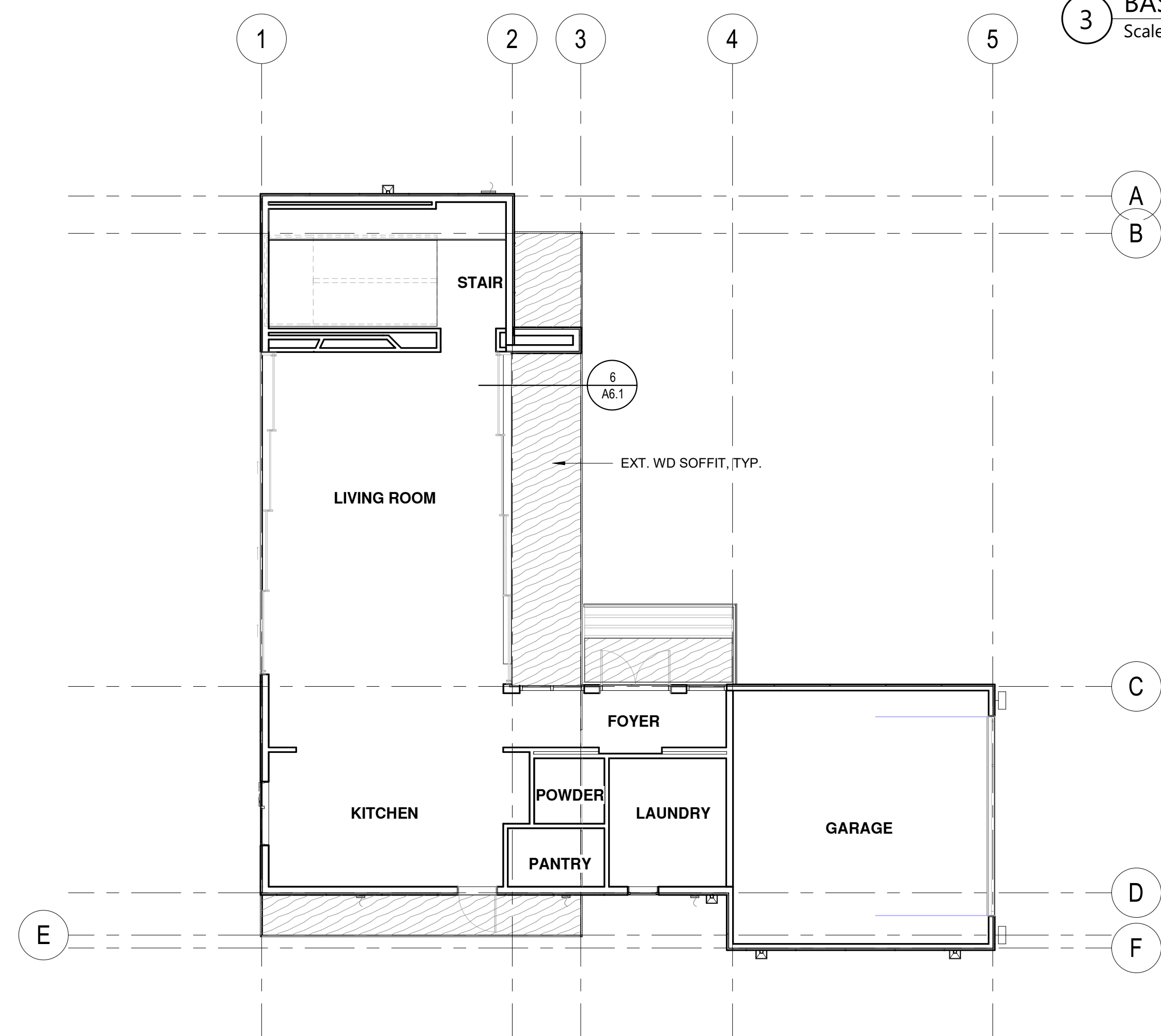
425.559.7888
contact@mza.com

STAMP

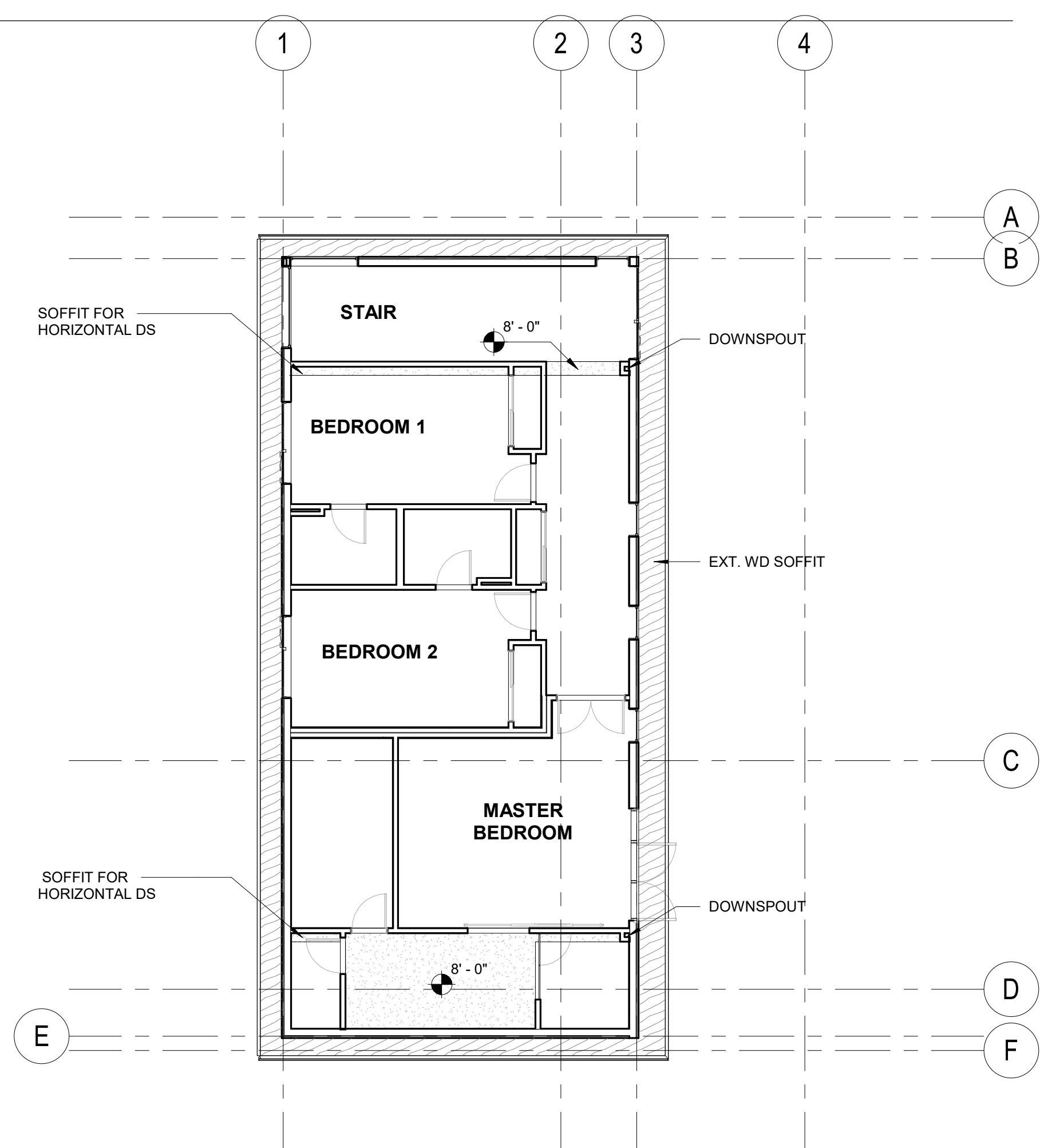
DRAWING TITLE ROOF PLAN	
DRAWN Author	DESIGNED Designer
DATE 08/16/19	
GRAPHIC SCALE As indicated	
PROJECT NO. 18-009	
DRAWING NO. A2.3	REVISION NO.




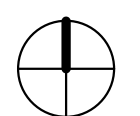
3 BASEMENT LEVEL
Scale: 1/8" = 1'-0"



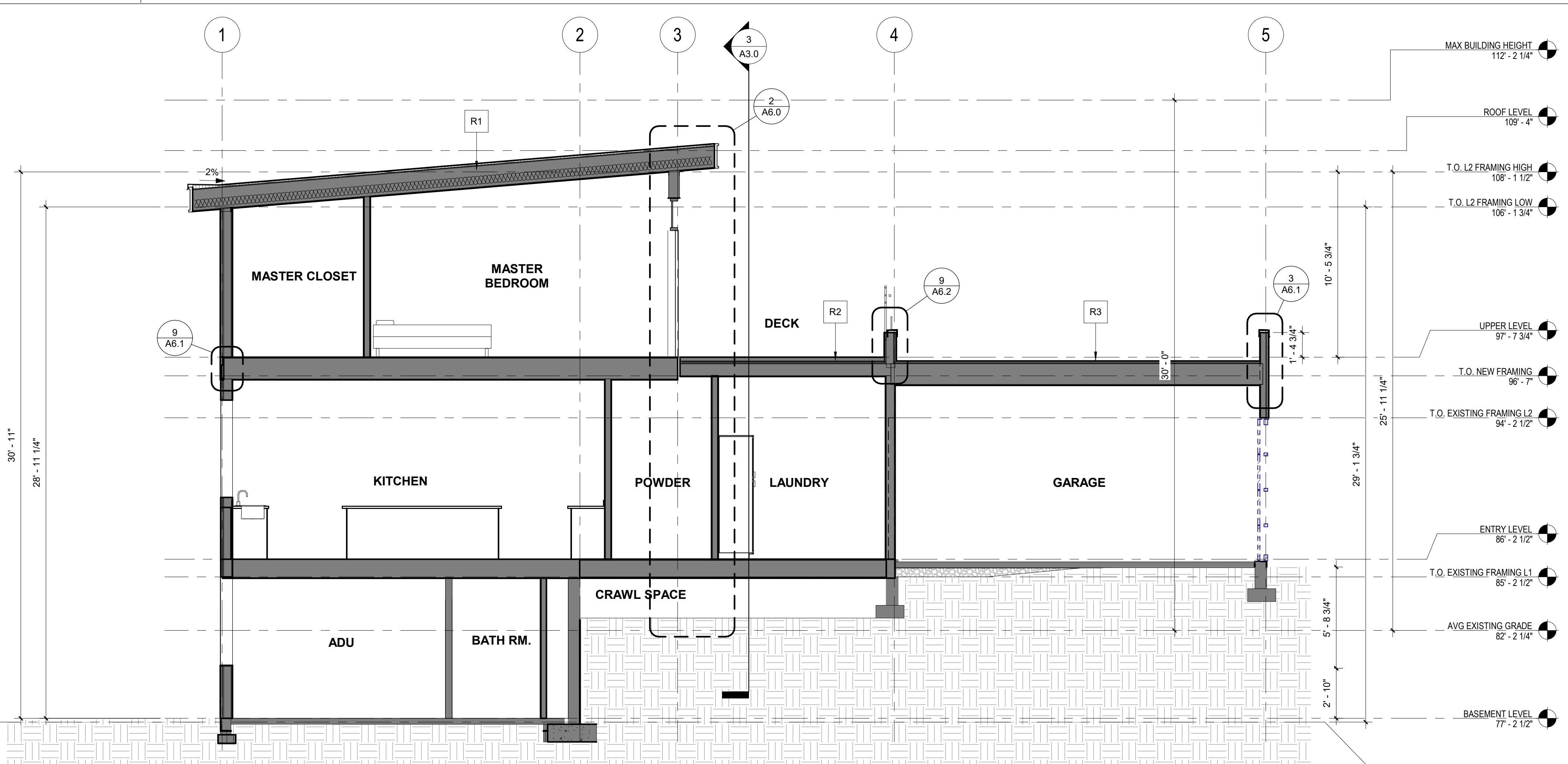
2 ENTRY LEVEL
Scale: 1/8" = 1'-0"



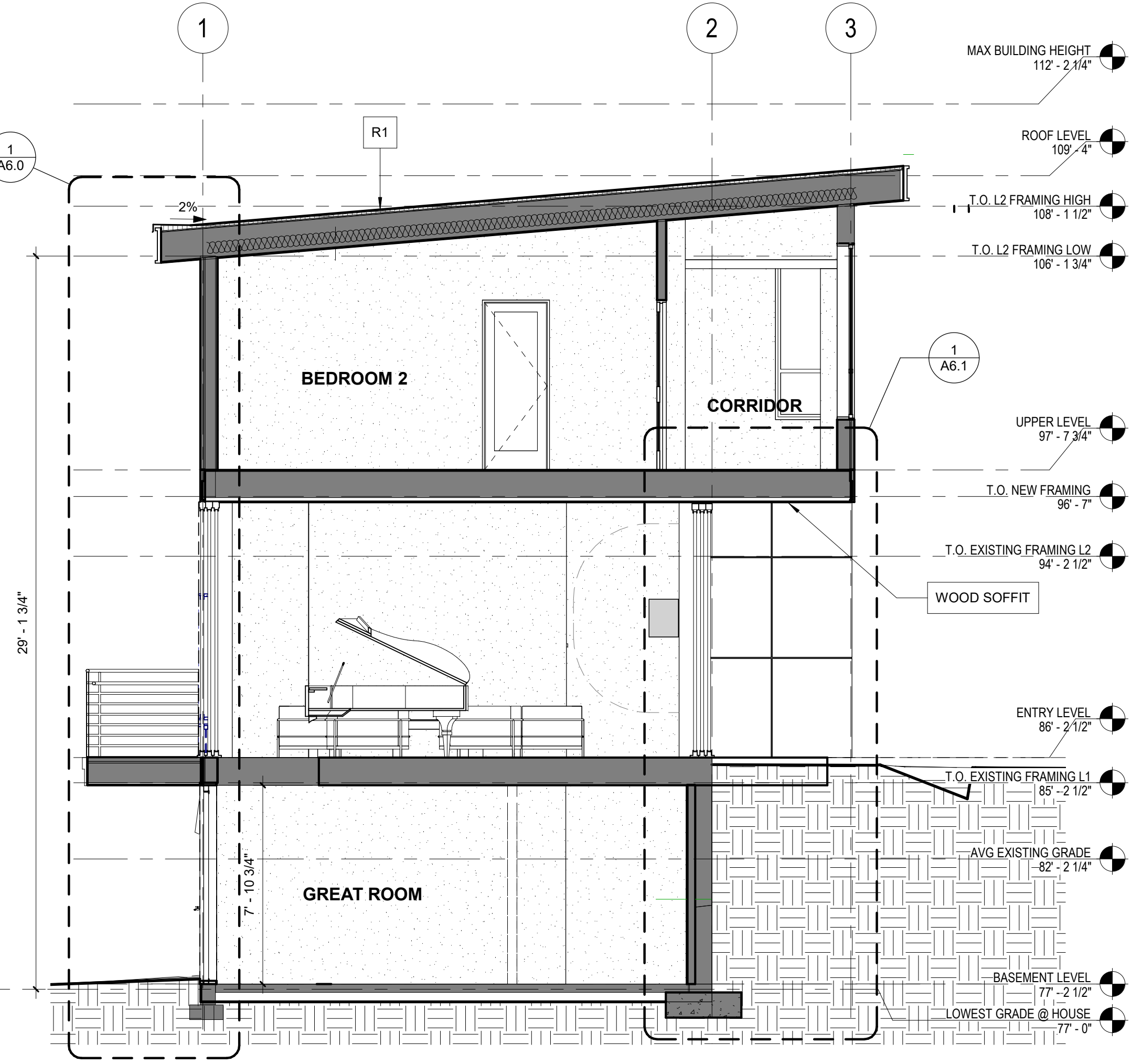
1 UPPER LEVEL
Scale: 1/8" = 1'-0"

PROJECT PAEK RESIDENCE								
ADDRESS 2215 80th Ave SE Mercer Island, WA 98040								
CLIENT Timothy & Elen Paek								
<p>1 Comment 1 08/16/19</p> <table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>			No.	Description	Date			
No.	Description	Date						
REVISIONS								
DRAWING STATUS								
<p>Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. ALL DIMENSIONS ARE SHOWN IN IMPERIAL.</p>								
 <p>M Z A ARCHITECTURE</p> <p>600 108th Ave NE Suite 1108 Bellevue WA 98004 425.559.7888 contact@mzous.com</p>								
STAMP								
DRAWING TITLE RCP's								
DRAWN Author	DESIGNED Designer							
DATE 08/16/19								
GRAPHIC SCALE 1/8" = 1'-0"								
PROJECT NO. 18-009								
DRAWING NO. A2.51	REVISION NO. 1							

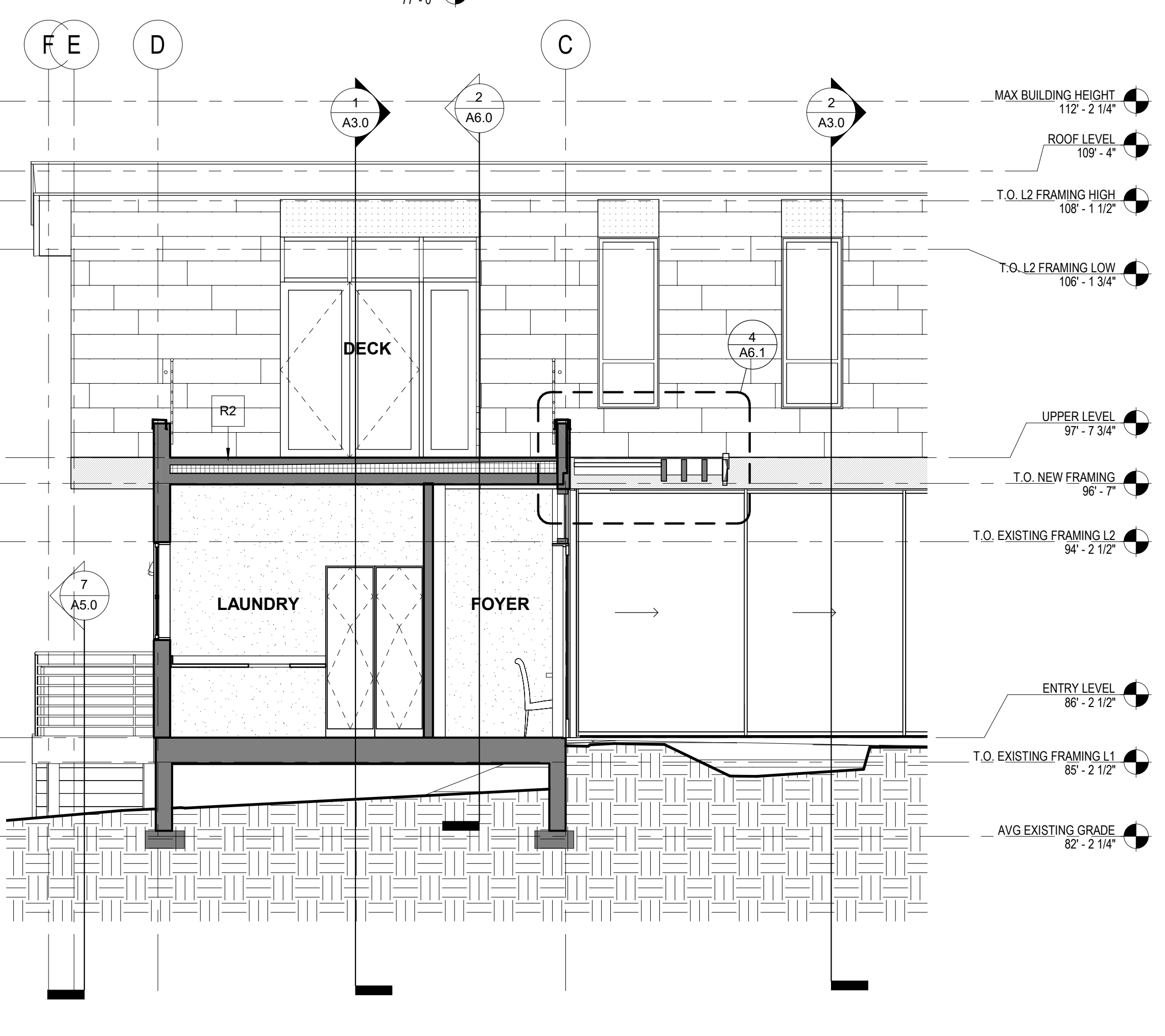
24"x36" Arch D - SHEET SIZE




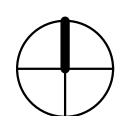
1 Section A-A
Scale: 1/4" = 1'-0"



2 Section B-B
Scale: 1/4" = 1'-0"

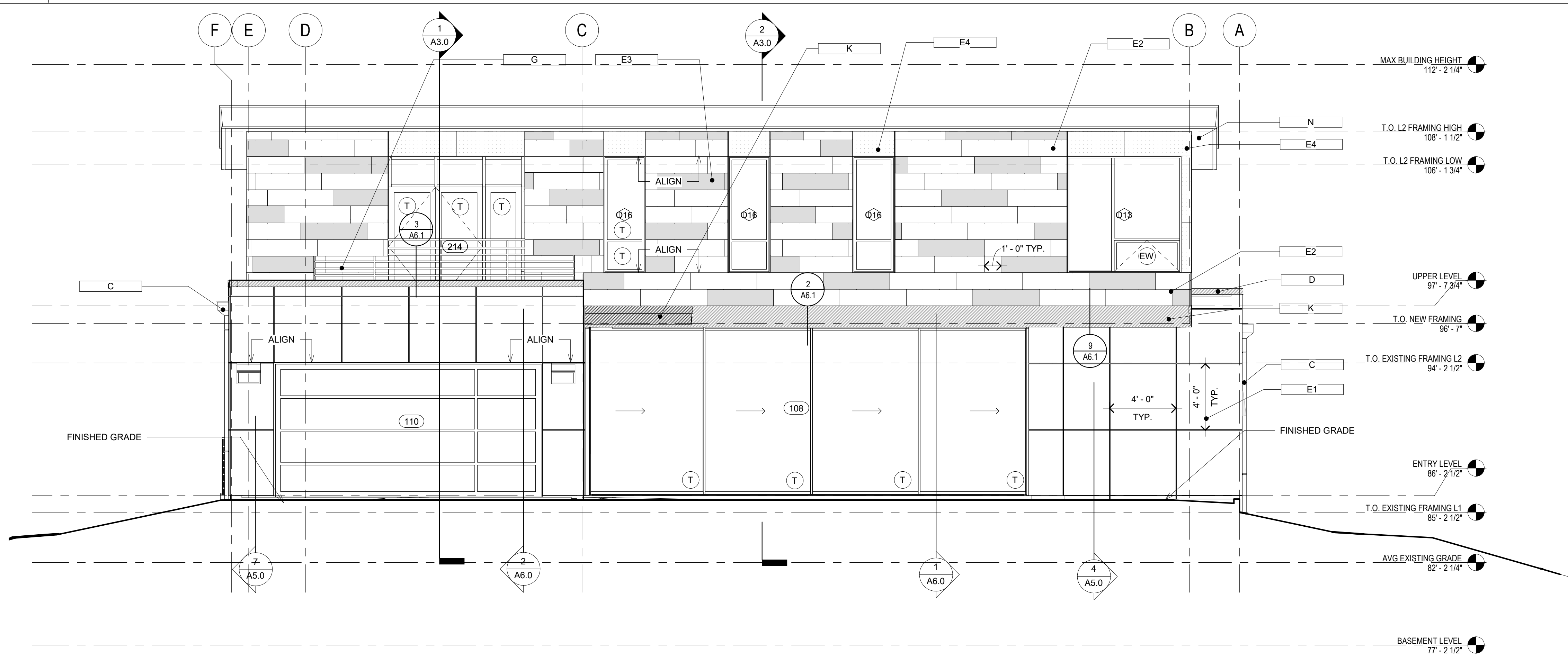


3 Building Section C-C
Scale: 1/4" = 1'-0"

PROJECT PAEK RESIDENCE											
ADDRESS 2215 80th Ave SE Mercer Island, WA 98040											
CLIENT Timothy & Elen Paek											
<table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td colspan="3">REVISIONS</td> </tr> <tr> <td colspan="3">DRAWING STATUS</td> </tr> </tbody> </table>			No.	Description	Date	REVISIONS			DRAWING STATUS		
No.	Description	Date									
REVISIONS											
DRAWING STATUS											
<p>Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. ALL DIMENSIONS ARE SHOWN IN IMPERIAL.</p>											
 <p>ARCHITECTURE</p> <p>600 108th Ave NE Suite 1108 Bellevue WA 98004</p> <p>425.559.7888 contact@mza.us</p>											
STAMP											
DRAWING TITLE SECTION											
DRAWN Author	DESIGNED Designer										
DATE 08/16/19											
GRAPHIC SCALE 1/4" = 1'-0"											
PROJECT NO. 18-009											
DRAWING NO. A3.0	REVISION NO.										

FILE NAME:
PLOT TIME:
DATE:

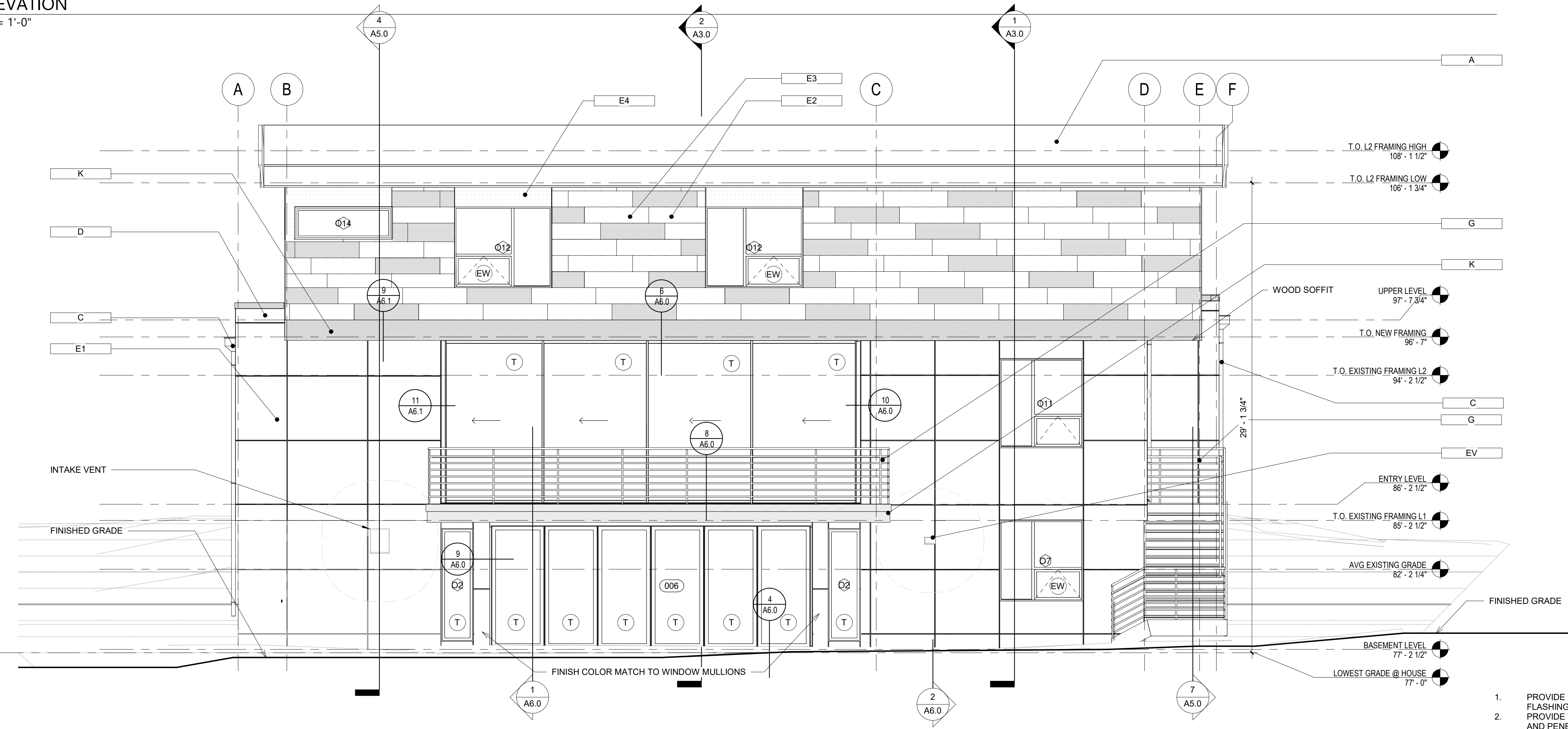
24"x36" Arch D - SHEET SIZE



KEYNOTES

- (A) 80 mil FLEECE BACKED PVC MEMBRANE
ROOF
BASIS OF DESIGN: IB ROOF SYSTEMS
COLOR: Quartz Grey
- (B) HIGH ROOF FASCIA
COLOR: Quartz Grey
- (C) ALUMINUM GUTTER/DOWNSPOUT
COLOR: Quartz Grey
- (D) METAL COPING OVER WOOD TRIM
COLOR: Quartz Grey
- (E1) TRESPA METEON PANEL SIDING
4'X4' PANEL SIZE
COLOR: Quartz Grey
- (E2) TRESPA METEON PANEL SIDING
1'X4' PANEL SIZE
COLOR: White
- (E3) TRESPA METEON PANEL SIDING
1'X4' PANEL SIZE
COLOR: Silver Grey
- (E4) TRESPA METEON PANEL SIDING
4'X4' PANEL SIZE
COLOR: White
- (F) CONCRETE WALL
COLOR: White
- (G) METAL RAILING
COLOR: Quartz Grey
- (K) WOOD TRIM
COLOR: Mystic Cedar
- (N) WOOD SOFFIT
COLOR: Romantic Walnut
- (T) TEMPERED GLASS
- (EW) EGRESS WINDOW
- (EV) EXHAUST VENT

1 EAST ELEVATION
Scale: 1/4" = 1'-0"



2 WEST ELEVATION
Scale: 1/4" = 1'-0"

1. PROVIDE GALVANIZED SHEET METAL FLASHING AND COUNTER FLASHING AT ALL ROOF PENETRATIONS.
2. PROVIDE WEATHER STRIPPING AT ALL DOORS. CAULK ALL JOINTS AND PENETRATIONS IN EXTERIOR WALLS.
3. PROVIDE BUILDING IDENTIFICATION ADDRESS NUMBERS THAT ARE PLAINLY VISIBLE FROM THE STREET OR ROAD COMPLIANT WITH 2015 IRC SECTION R319.1

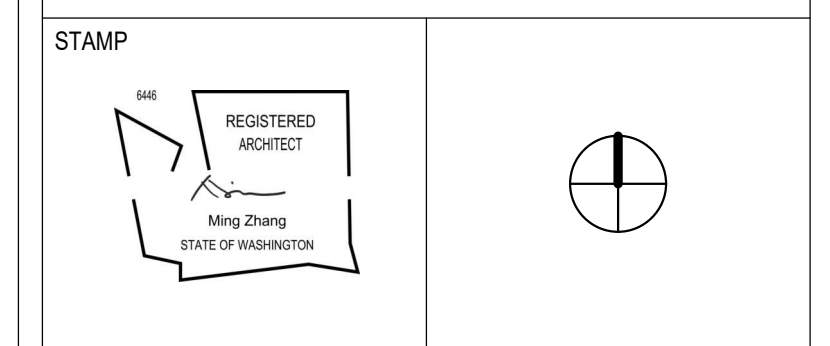
PROJECT
PAEK RESIDENCE

ADDRESS
2215 80th Ave SE
Mercer Island, WA 98040

CLIENT
Timothy & Elen Paek

No.	Description	Date
REVISIONS		
DRAWING STATUS		

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. ALL DIMENSIONS ARE SHOWN IN IMPERIAL.



DRAWING TITLE
EAST & WEST ELEVATIONS

DRAWN Author
DESIGNED Designer

DATE 08/16/19

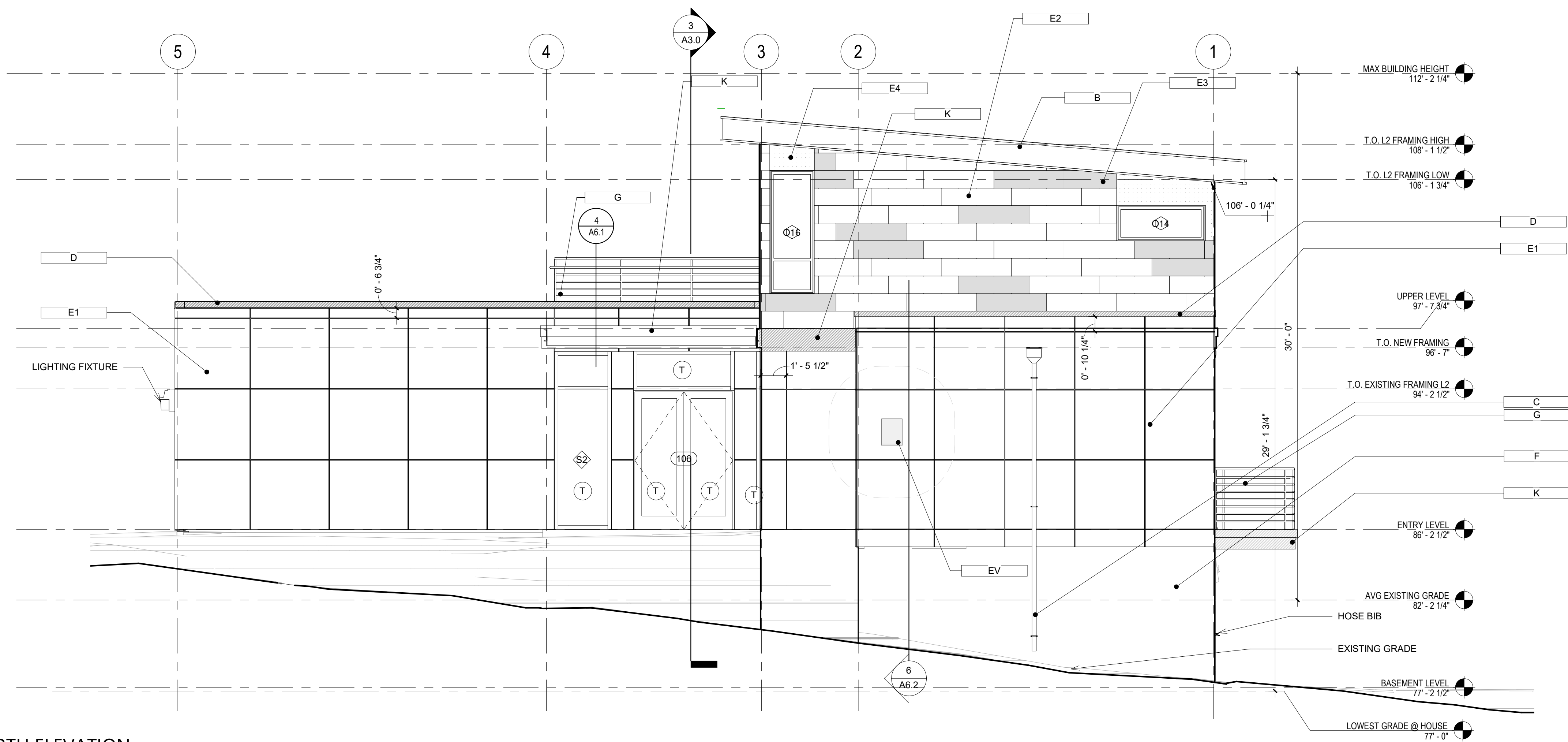
GRAPHIC SCALE
As indicated

PROJECT NO.
18-009

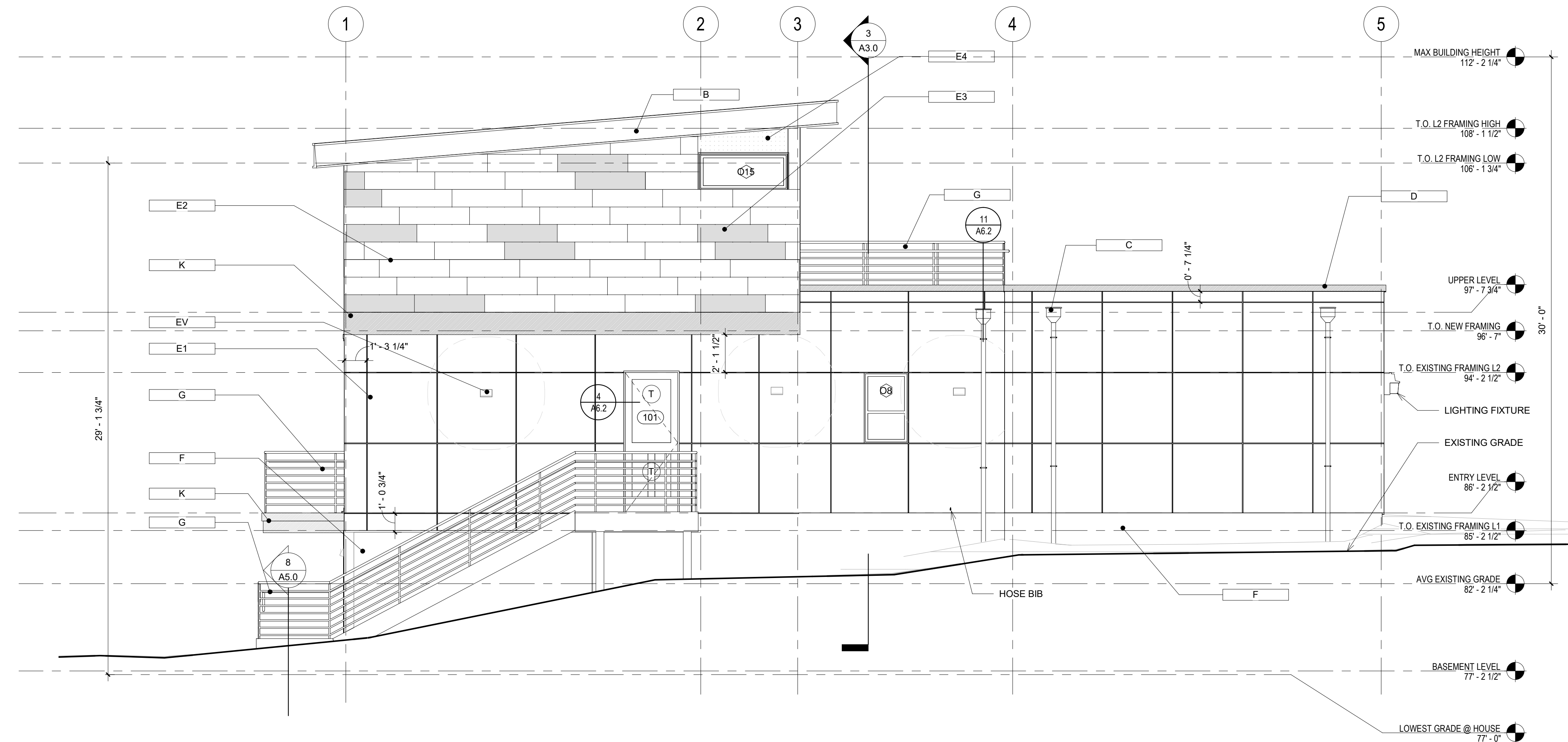
DRAWING NO. **A4.0** REVISION NO.

FILE NAME:
PLOT DATE:

24"x36" Arch D - SHEET SIZE



1 NORTH ELEVATION
Scale: 1/4" = 1'-0"









2 SOUTH ELEVATION
Scale: 1/4" = 1'-0"

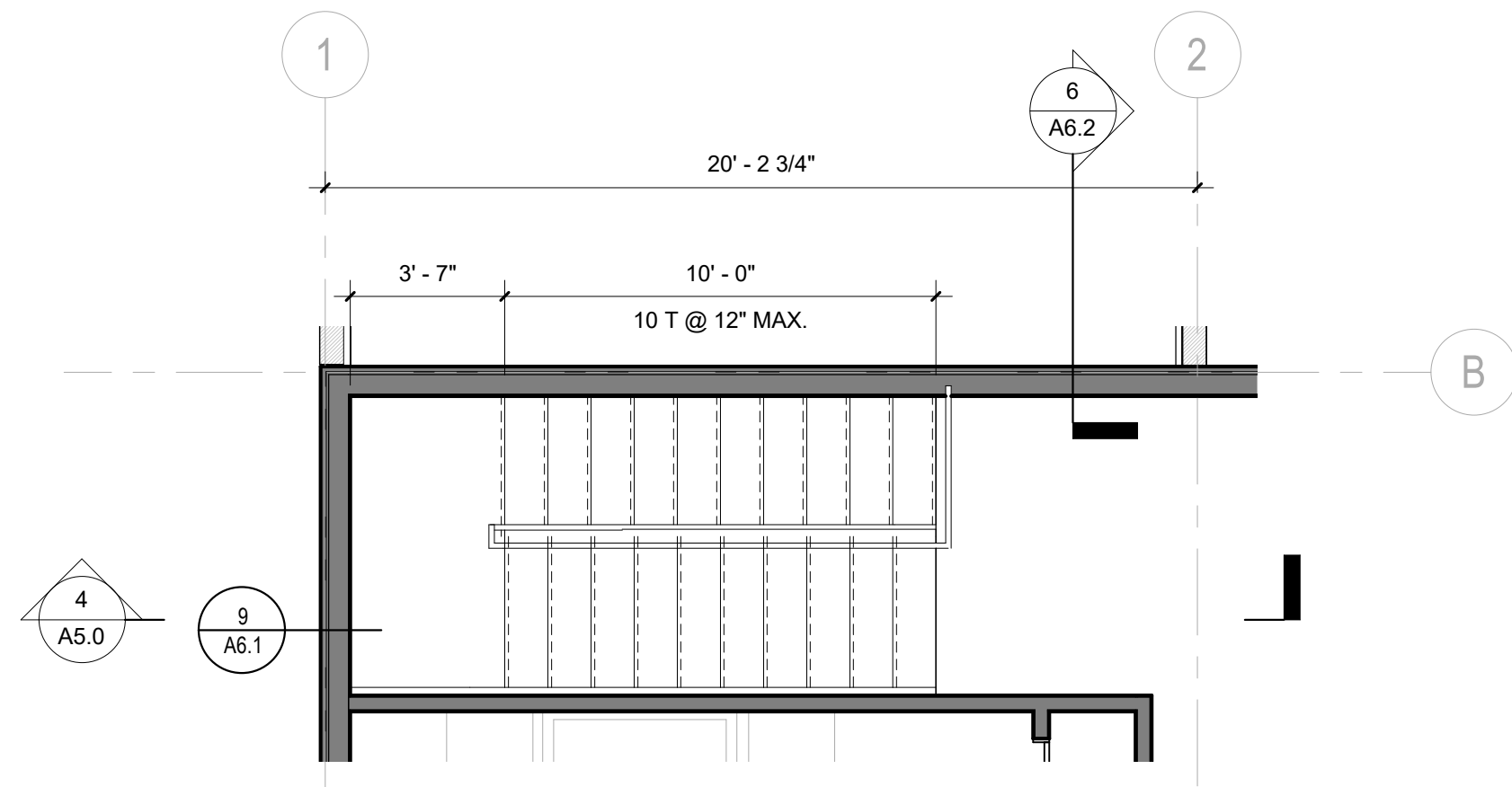
KEYNOTES

- (A) 80 mil FLEECE BACKED PVC MEMBRANE ROOF
BASIS OF DESIGN: IB ROOF SYSTEMS
COLOR: Quartz Grey
- (B) HIGH ROOF FASCIA
COLOR: Quartz Grey
- (C) ALUMINUM GUTTER/DOWNSPOUT
COLOR: Quartz Grey
- (D) METAL COPING OVER WOOD TRIM
COLOR: Quartz Grey
- (E1) TRESPA METEON PANEL SIDING
4'X4' PANEL SIZE
COLOR: Quartz Grey
- (E2) TRESPA METEON PANEL SIDING
1'X4' PANEL SIZE
COLOR: White
- (E3) TRESPA METEON PANEL SIDING
1'X4' PANEL SIZE
COLOR: Silver Grey
- (E4) TRESPA METEON PANEL SIDING
4'X4' PANEL SIZE
COLOR: White
- (F) CONCRETE WALL
COLOR: White
- (G) METAL RAILING
COLOR: Quartz Grey
- (K) WOOD TRIM
COLOR: Mystic Cedar
- (N) WOOD SOFFIT
COLOR: Romantic Walnut
- (T) TEMPERED GLASS
- (EW) EGRESS WINDOW
- (EV) EXHAUST VENT

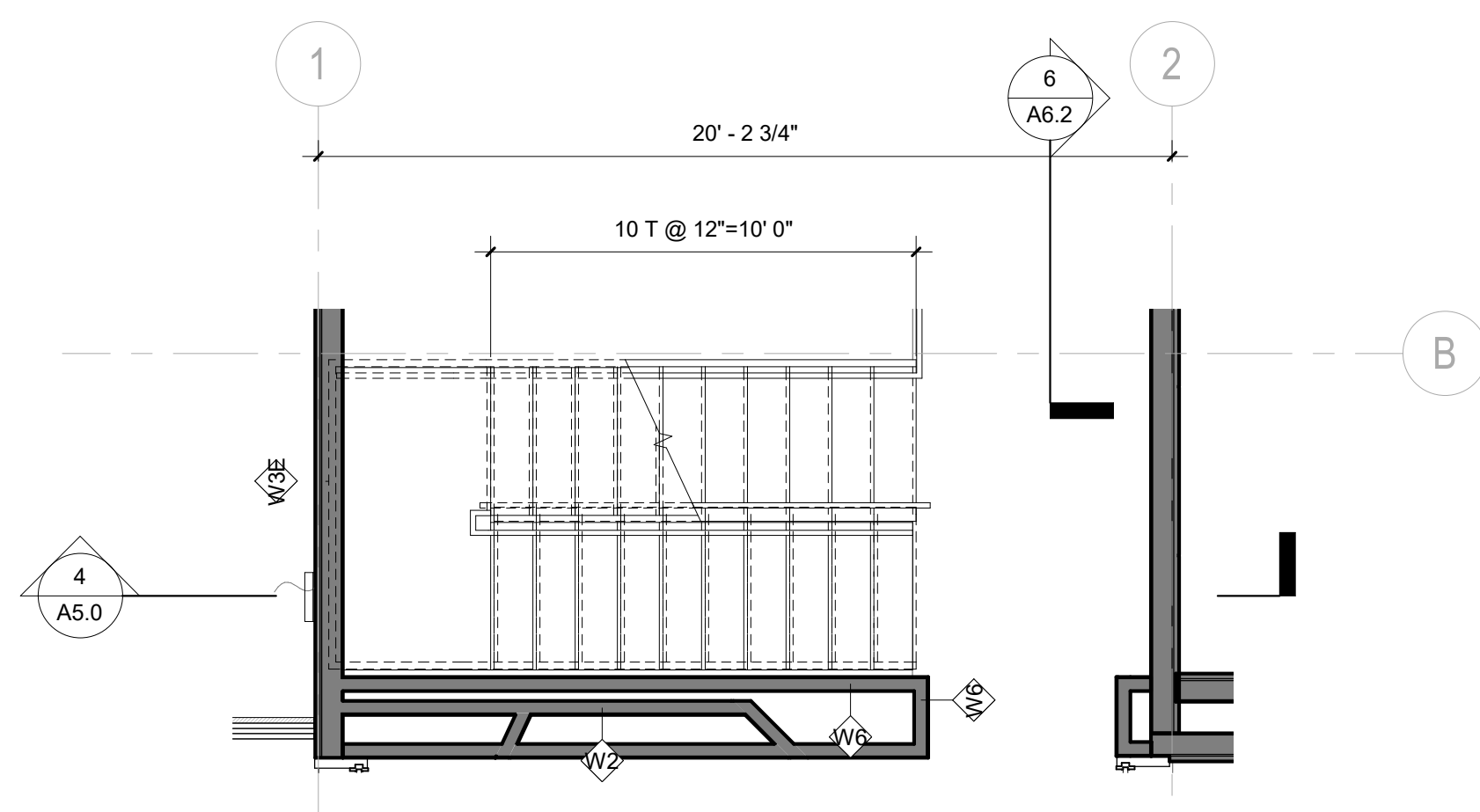
1. PROVIDE GALVANIZED SHEET METAL FLASHING AND COUNTER FLASHING AT ALL ROOF PENETRATIONS
2. PROVIDE WEATHER STRIPPING AT ALL DOORS. CAULK ALL JOINTS AND PENETRATIONS IN EXTERIOR WALLS.
3. PROVIDE BUILDING IDENTIFICATION ADDRESS NUMBERS THAT ARE PLAINLY VISIBLE FROM THE STREET OR ROAD COMPLIANT WITH 2015 IRC SECTION R319.1

PROJECT PAEK RESIDENCE																																									
ADDRESS 2215 80th Ave SE Mercer Island, WA 98040																																									
CLIENT Timothy & Elen Paek																																									
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td colspan="3">REVISIONS</td> </tr> <tr> <td colspan="3">DRAWING STATUS</td> </tr> <tr> <td colspan="3" style="text-align: center;"> <p>Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. ALL DIMENSIONS ARE SHOWN IN IMPERIAL.</p> </td> </tr> <tr> <td colspan="3" style="text-align: center;">  <p>ARCHITECTURE</p> <p>600 108th Ave NE Suite 1108 Bellevue WA 98004 425.559.7888 contact@mza.com</p> </td> </tr> <tr> <td colspan="3">STAMP</td> </tr> <tr> <td colspan="3" style="text-align: center;">  </td> </tr> <tr> <td colspan="3">DRAWING TITLE NORTH & SOUTH ELEVATIONS</td> </tr> <tr> <td>DRAWN Author</td> <td colspan="2">DESIGNED Designer</td> </tr> <tr> <td colspan="3">DATE 08/16/19</td> </tr> <tr> <td colspan="3">GRAPHIC SCALE As indicated</td> </tr> <tr> <td colspan="3">PROJECT NO. 18-009</td> </tr> <tr> <td>DRAWING NO. A4.1</td> <td colspan="2">REVISION NO.</td> </tr> </tbody> </table>			No.	Description	Date	REVISIONS			DRAWING STATUS			<p>Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. ALL DIMENSIONS ARE SHOWN IN IMPERIAL.</p>			 <p>ARCHITECTURE</p> <p>600 108th Ave NE Suite 1108 Bellevue WA 98004 425.559.7888 contact@mza.com</p>			STAMP						DRAWING TITLE NORTH & SOUTH ELEVATIONS			DRAWN Author	DESIGNED Designer		DATE 08/16/19			GRAPHIC SCALE As indicated			PROJECT NO. 18-009			DRAWING NO. A4.1	REVISION NO.	
No.	Description	Date																																							
REVISIONS																																									
DRAWING STATUS																																									
<p>Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. ALL DIMENSIONS ARE SHOWN IN IMPERIAL.</p>																																									
 <p>ARCHITECTURE</p> <p>600 108th Ave NE Suite 1108 Bellevue WA 98004 425.559.7888 contact@mza.com</p>																																									
STAMP																																									
																																									
DRAWING TITLE NORTH & SOUTH ELEVATIONS																																									
DRAWN Author	DESIGNED Designer																																								
DATE 08/16/19																																									
GRAPHIC SCALE As indicated																																									
PROJECT NO. 18-009																																									
DRAWING NO. A4.1	REVISION NO.																																								

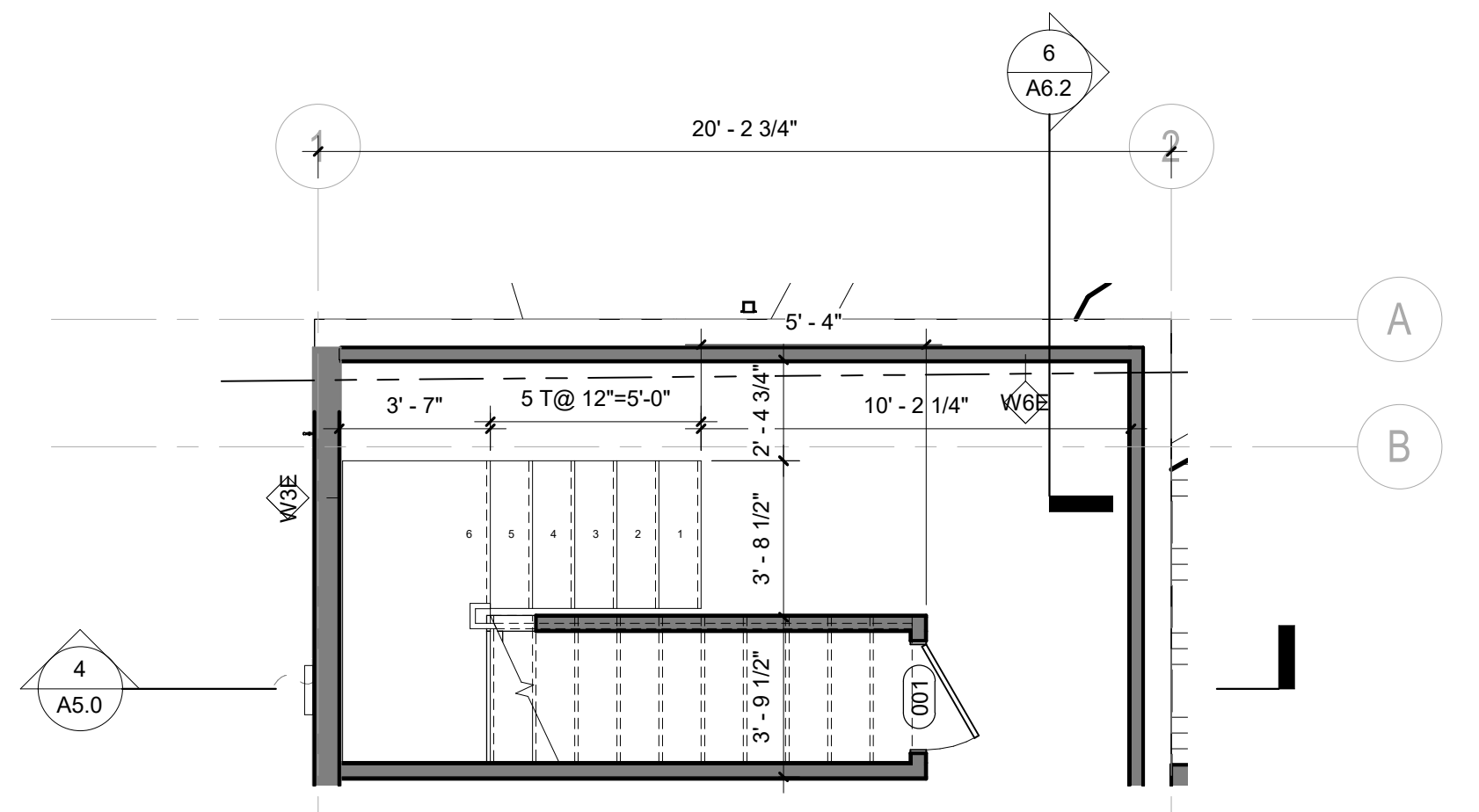
FILE NAME:
PLOT DATE:



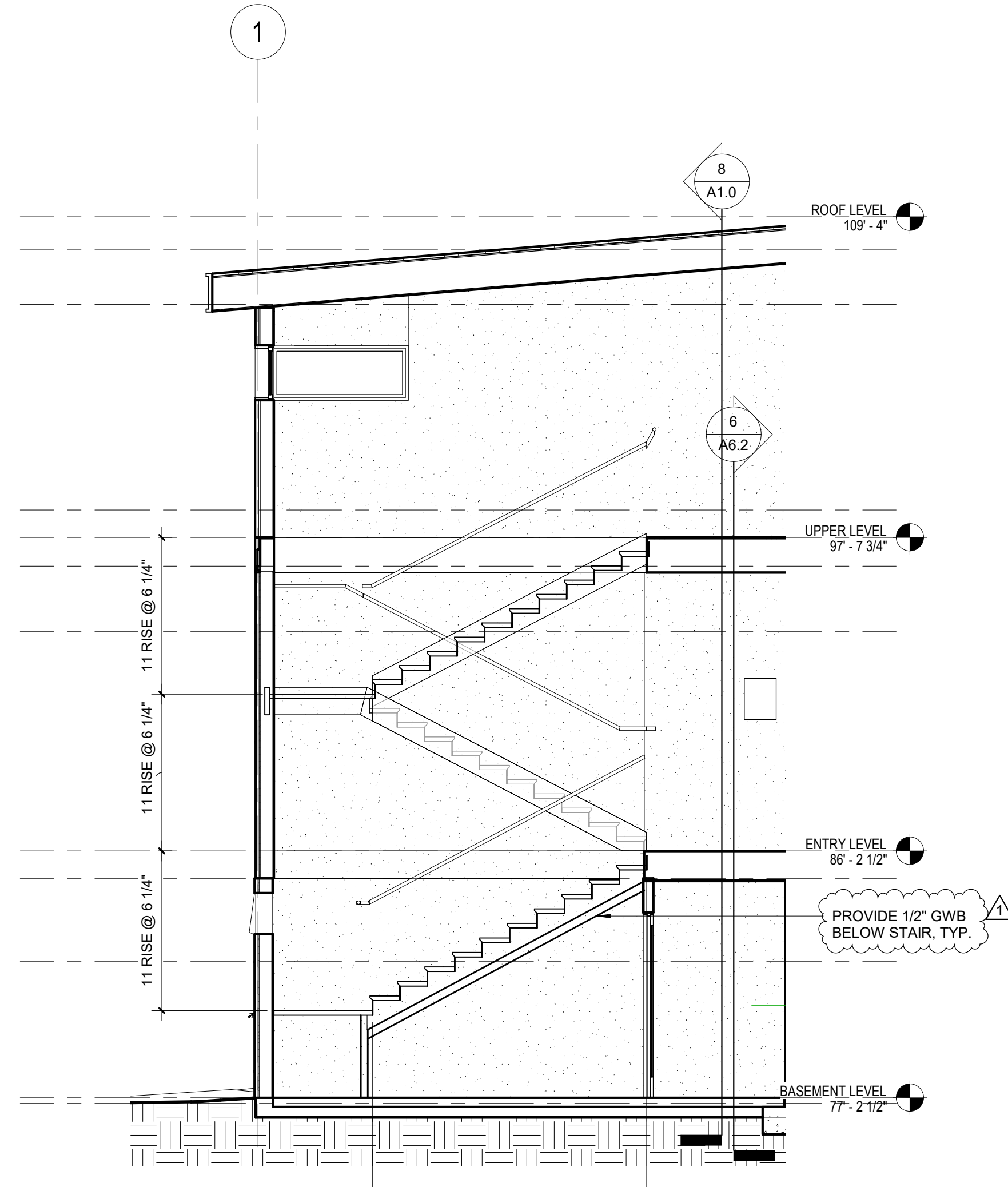
3 UPPER LEVEL - STAIR 1
Scale: 1/4" = 1'-0"



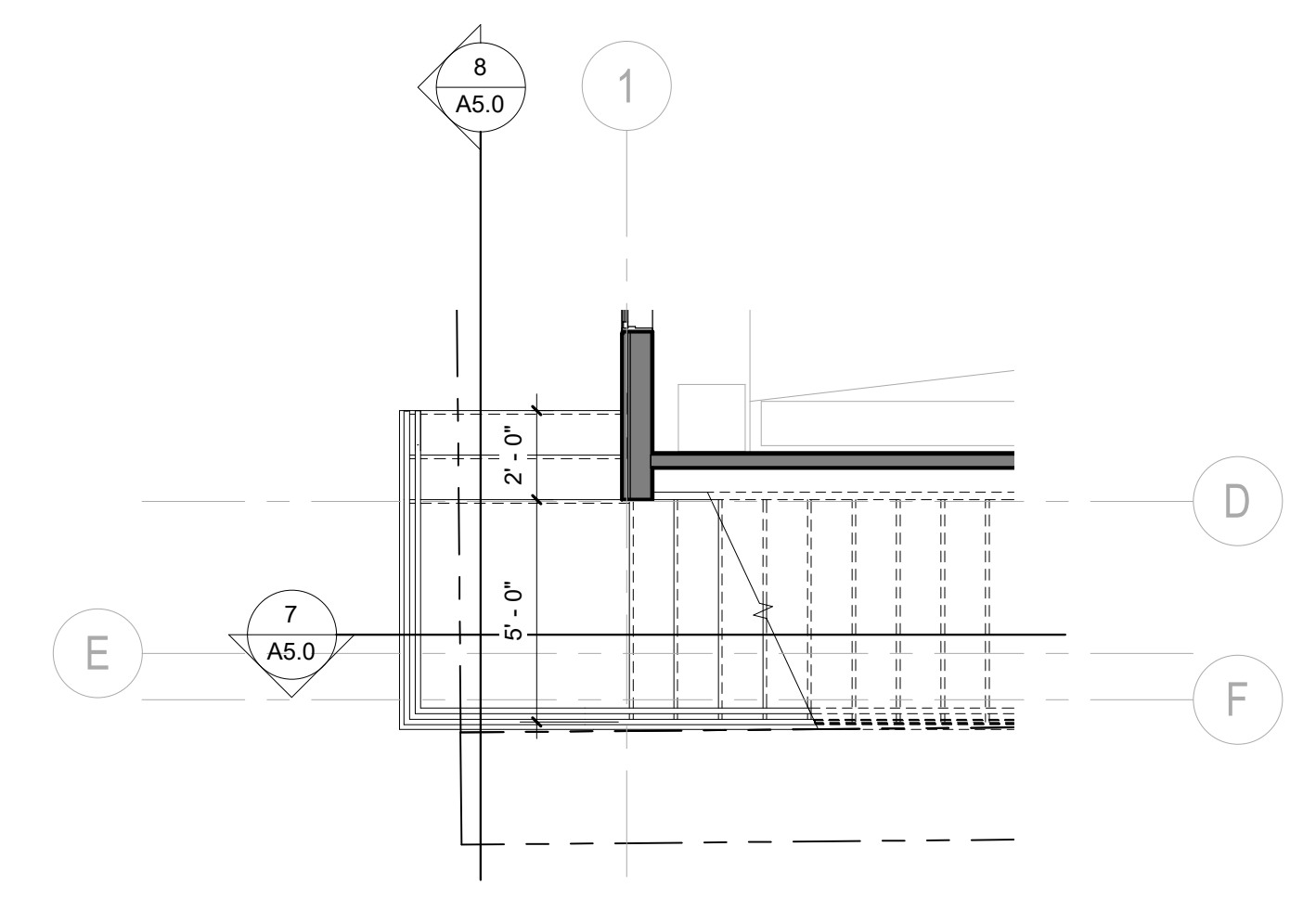
2 ENTRY LEVEL - STAIR 1
Scale: 1/4" = 1'-0"



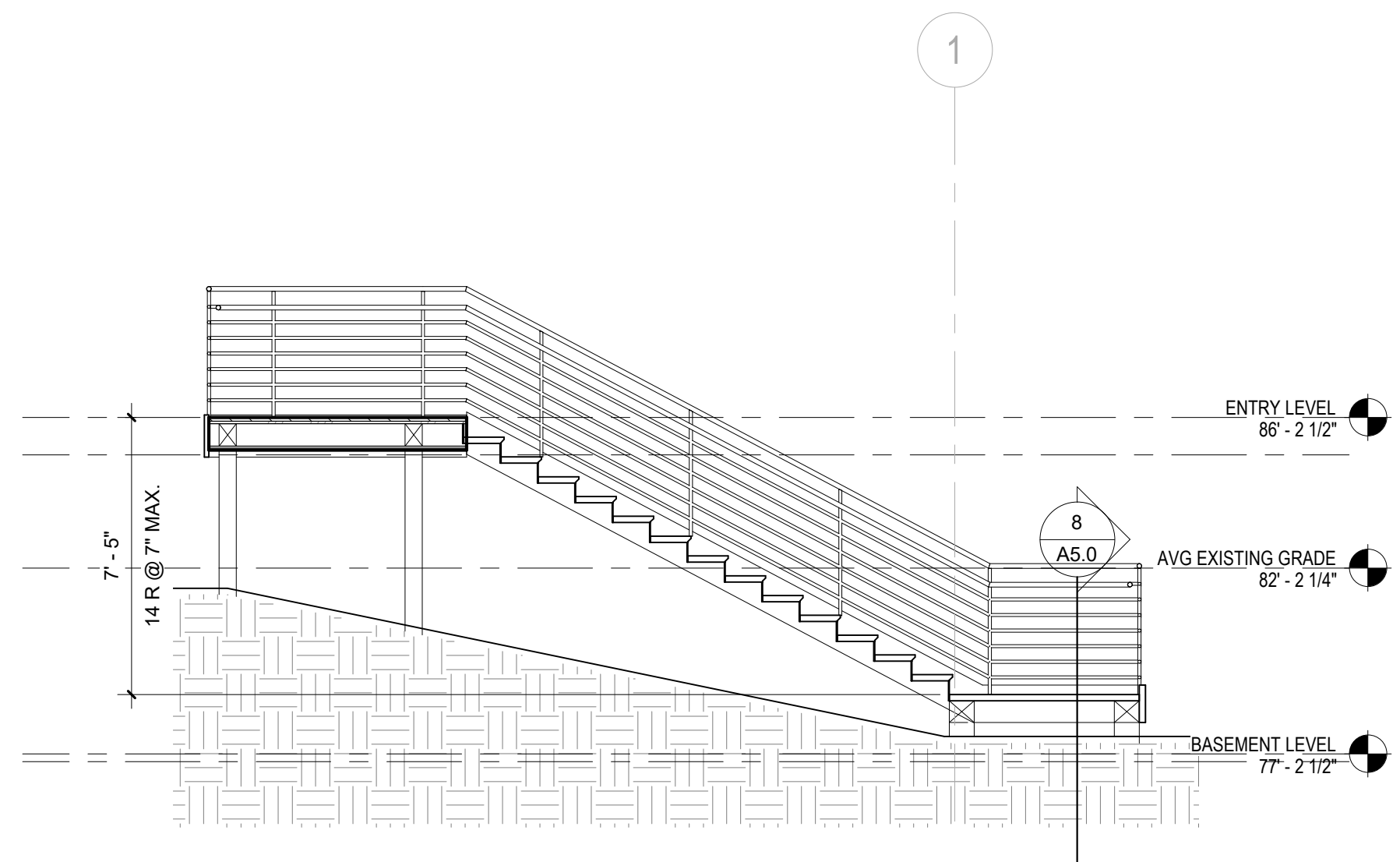
1 BASEMENT LEVEL - STAIR 1
Scale: 1/4" = 1'-0"



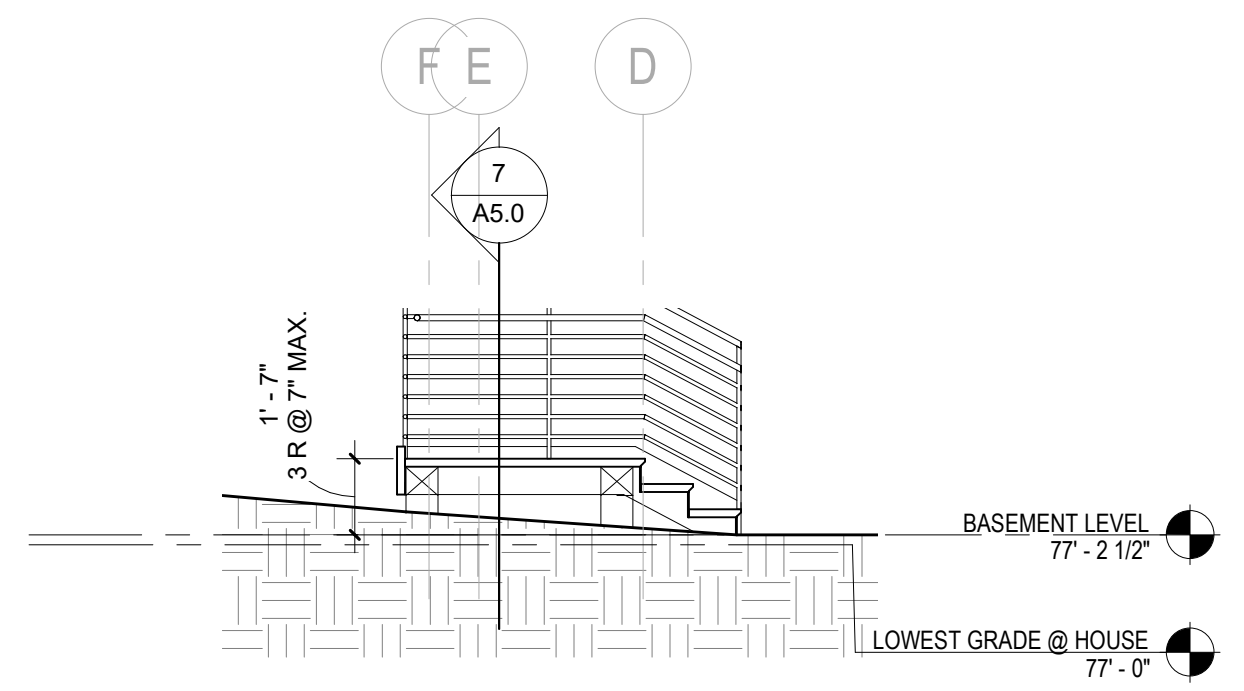
4 Section 19
Scale: 1/4" = 1'-0"



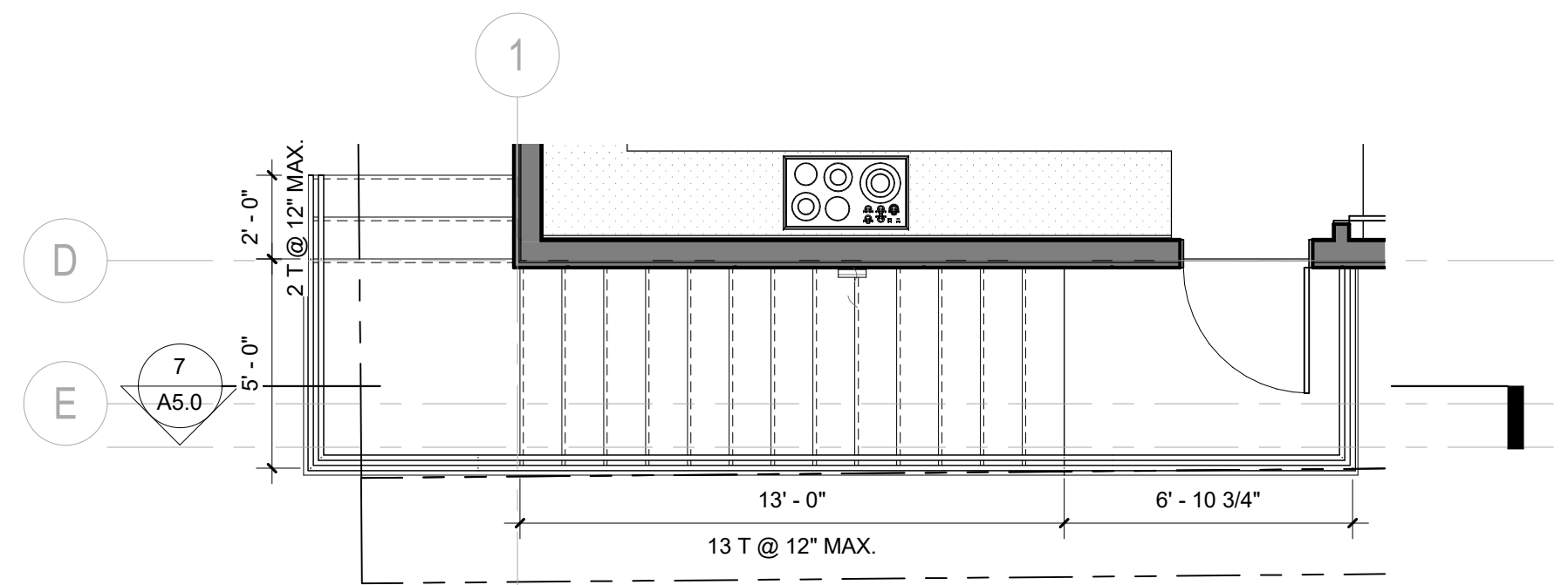
5 BASEMENT LEVEL - STAIR 2
Scale: 1/4" = 1'-0"



7 Section C-C
Scale: 1/4" = 1'-0"



8 Section D-D
Scale: 1/4" = 1'-0"



6 ENTRY LEVEL - STAIR 2
Scale: 1/4" = 1'-0"

PROJECT
PAEK RESIDENCE

ADDRESS
2215 80th Ave SE
Mercer Island, WA 98040

CLIENT
Timothy & Elen Paek

No.	Comment	Date
1	Comment 1	08/16/19

REVISIONS

DRAWING STATUS

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

ARCHITECTURE

600 108th Ave NE
Suite 108
Bellevue WA 98004

425.559.7888
contact@mzarus.com

STAMP

REGISTERED ARCHITECT

Ming Zhang

STATE OF WASHINGTON

DRAWING TITLE
VERTICAL CIRCULATION

DRAWN Author	DESIGNED Designer
-----------------	----------------------

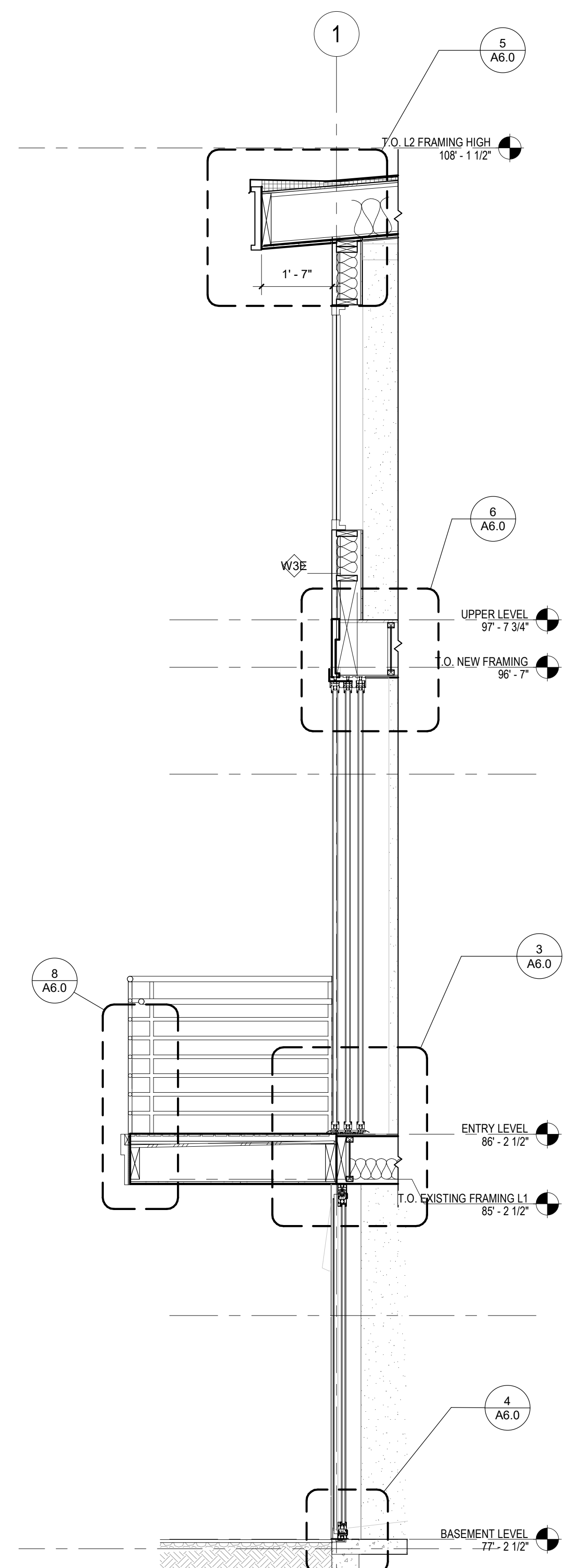
DATE
08/16/19

GRAPHIC SCALE
1/4" = 1'-0"

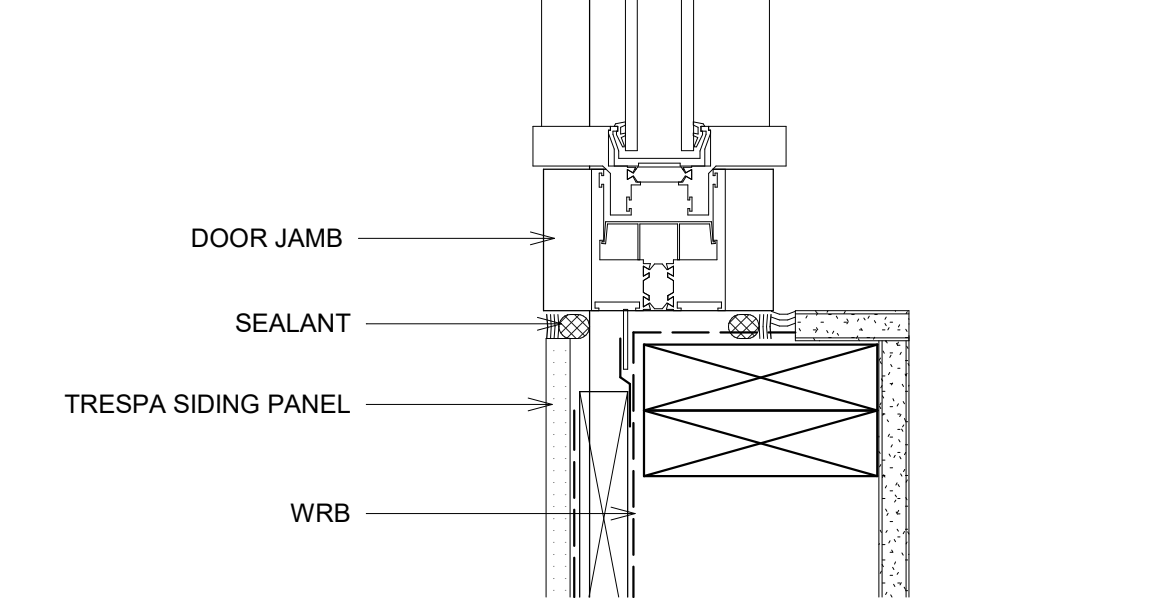
PROJECT NO.
18-009

DRAWING NO. A5.0	REVISION NO. 1
---------------------	-------------------

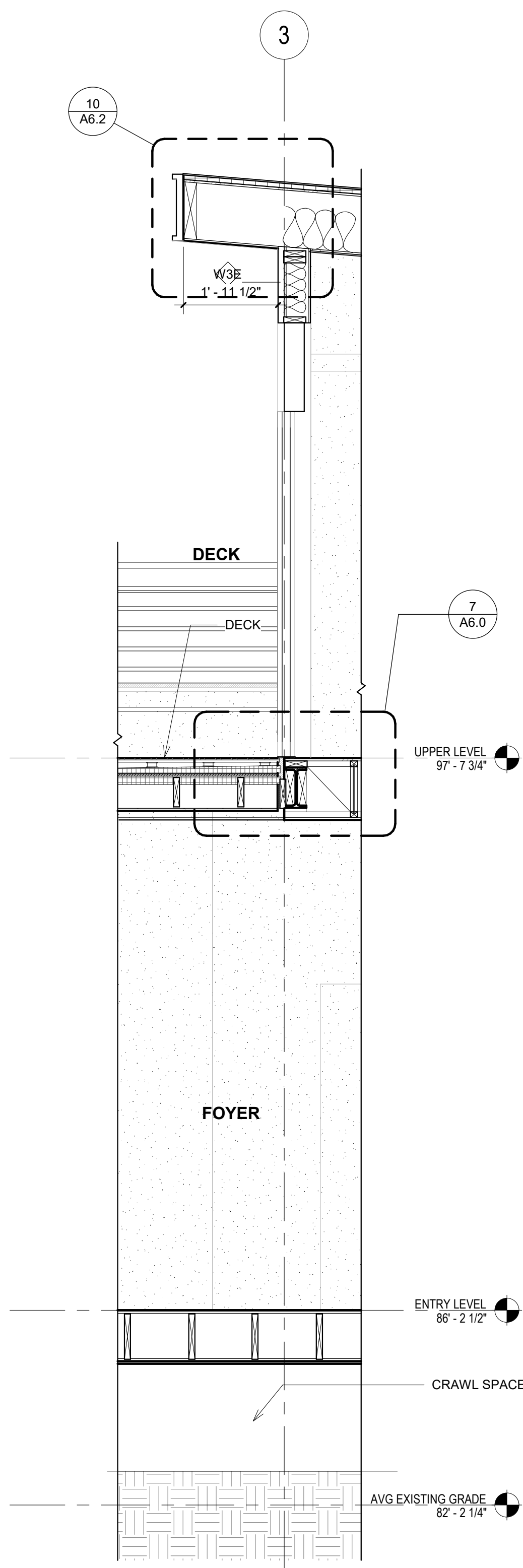
24"x36" Arch D - SHEET SIZE



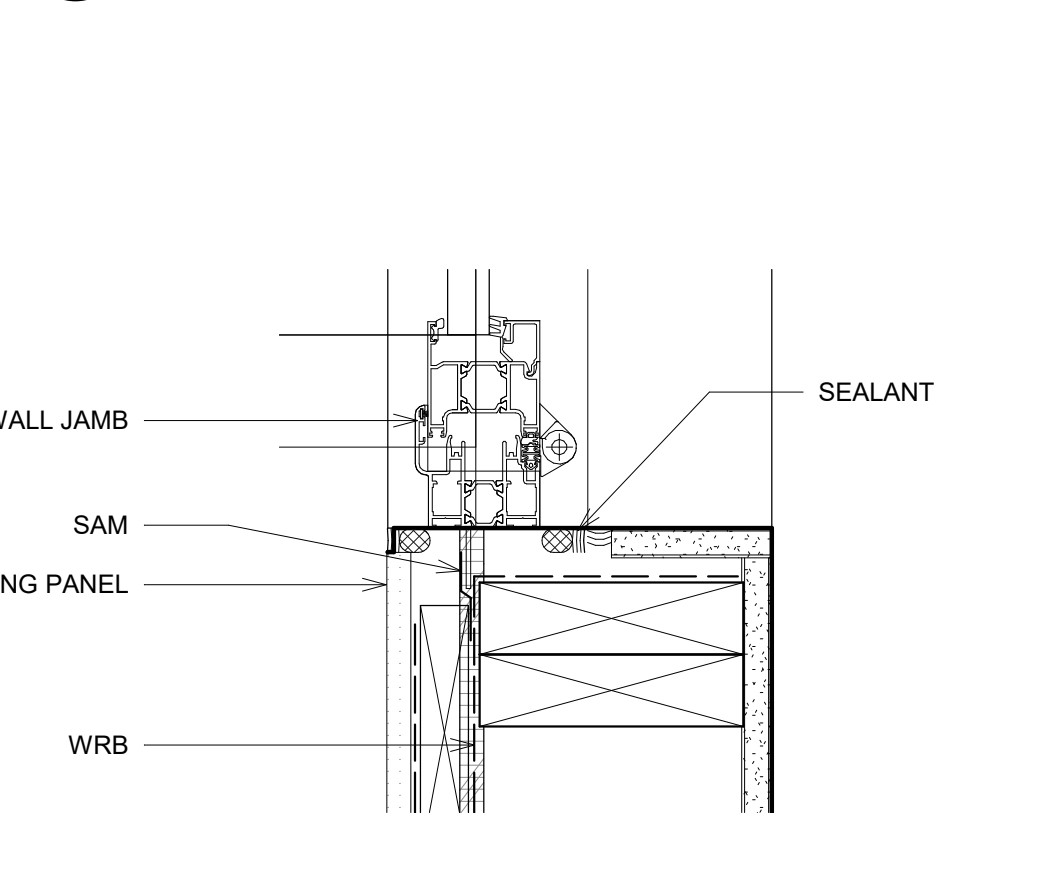
1 WALL SECTION @ BALCONY
Scale: 1/2" = 1'-0"



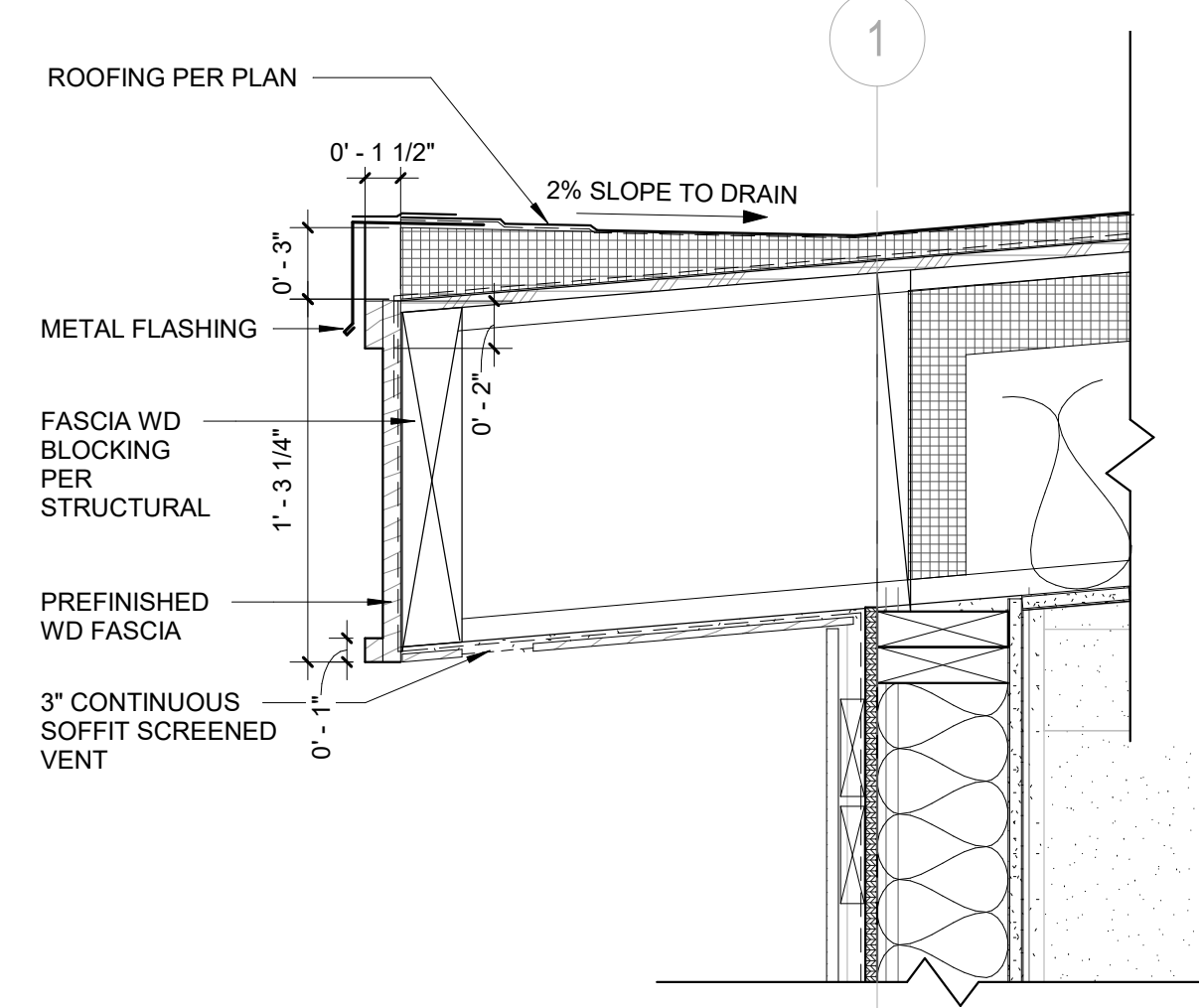
10 SLIDING GLASS DOOR JAMB DETAIL
Scale: 3" = 1'-0"



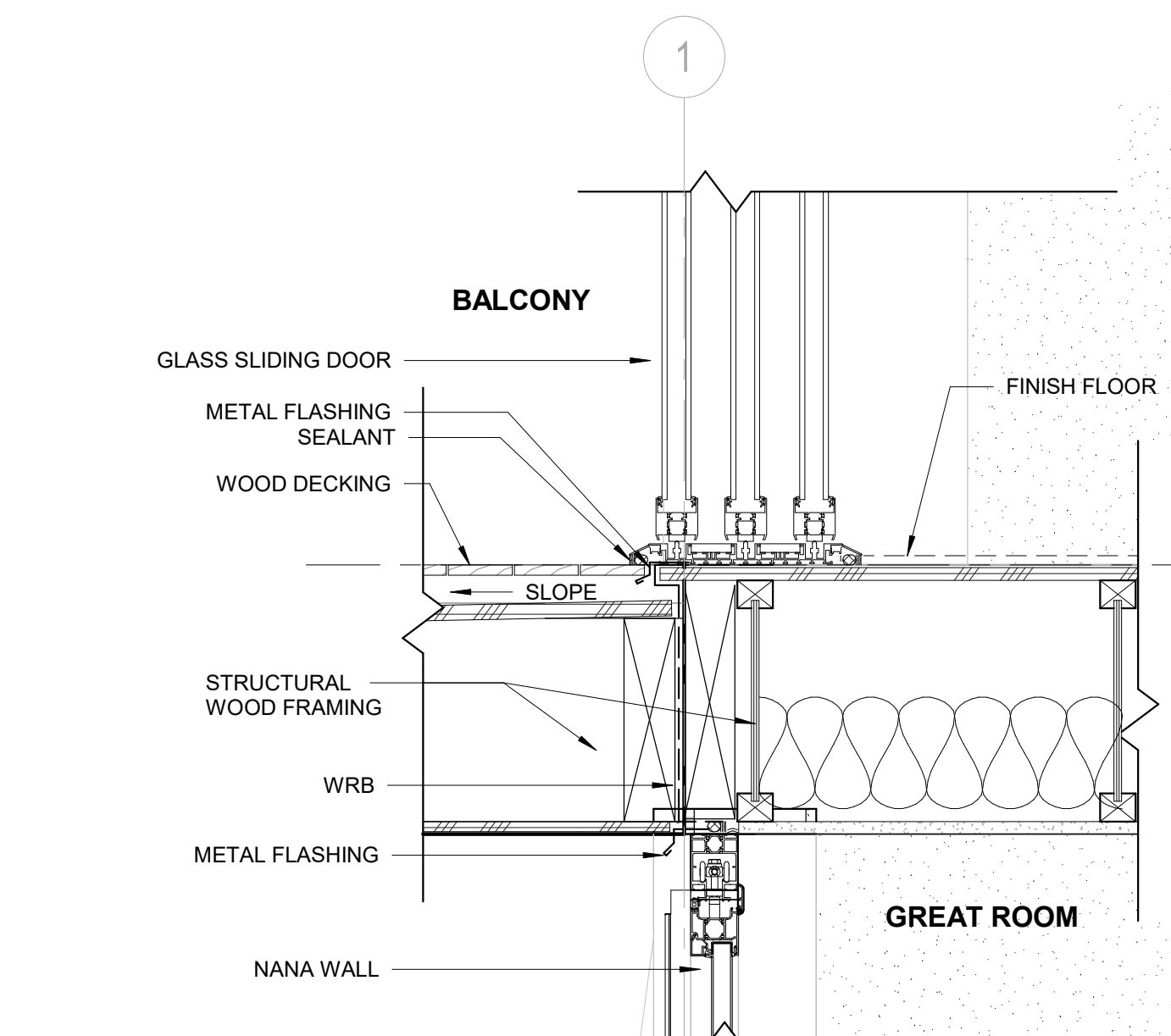
2 WALL SECTION @ DECK
Scale: 1/2" = 1'-0"



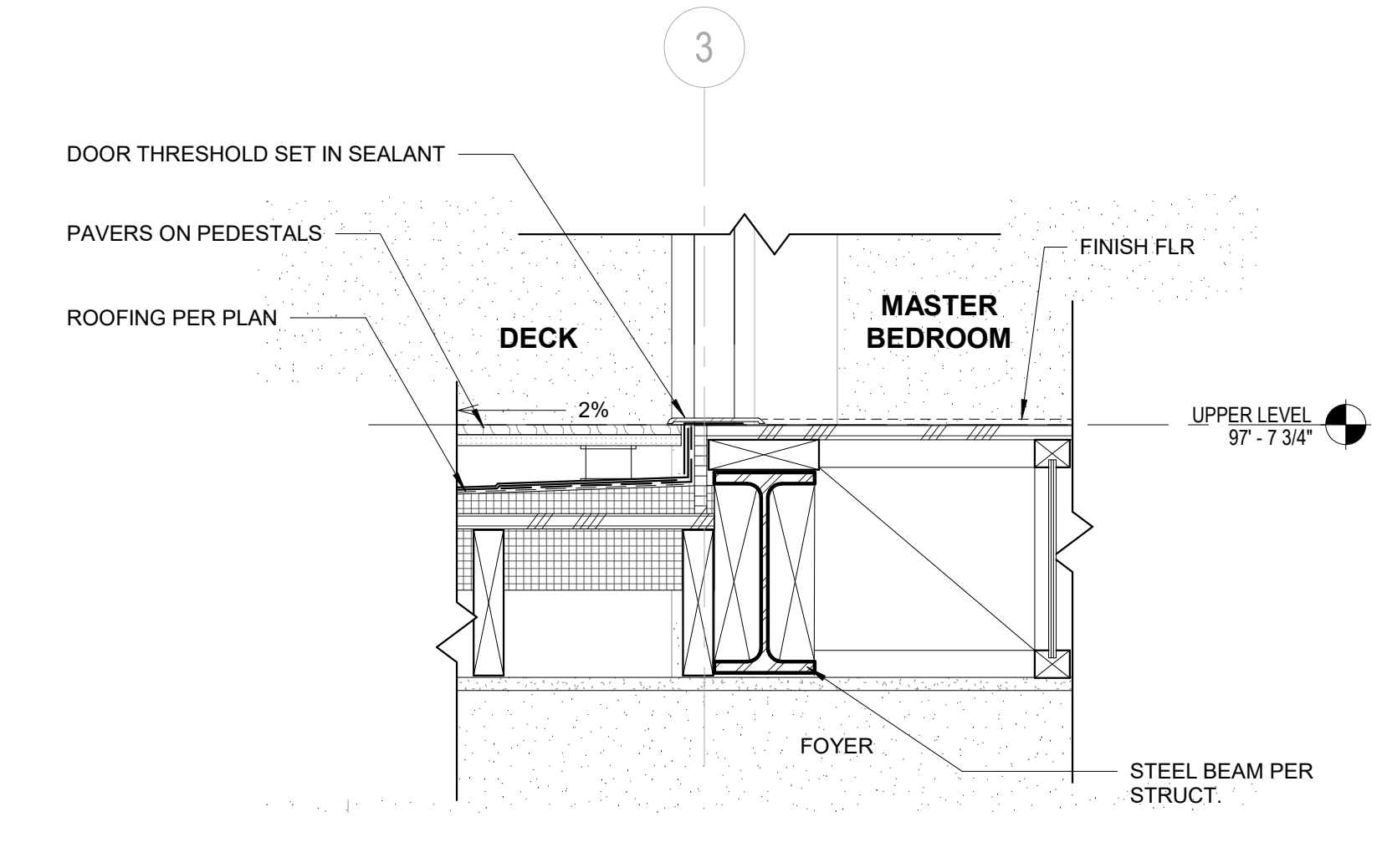
9 NANA WALL JAMB
Scale: 3" = 1'-0"



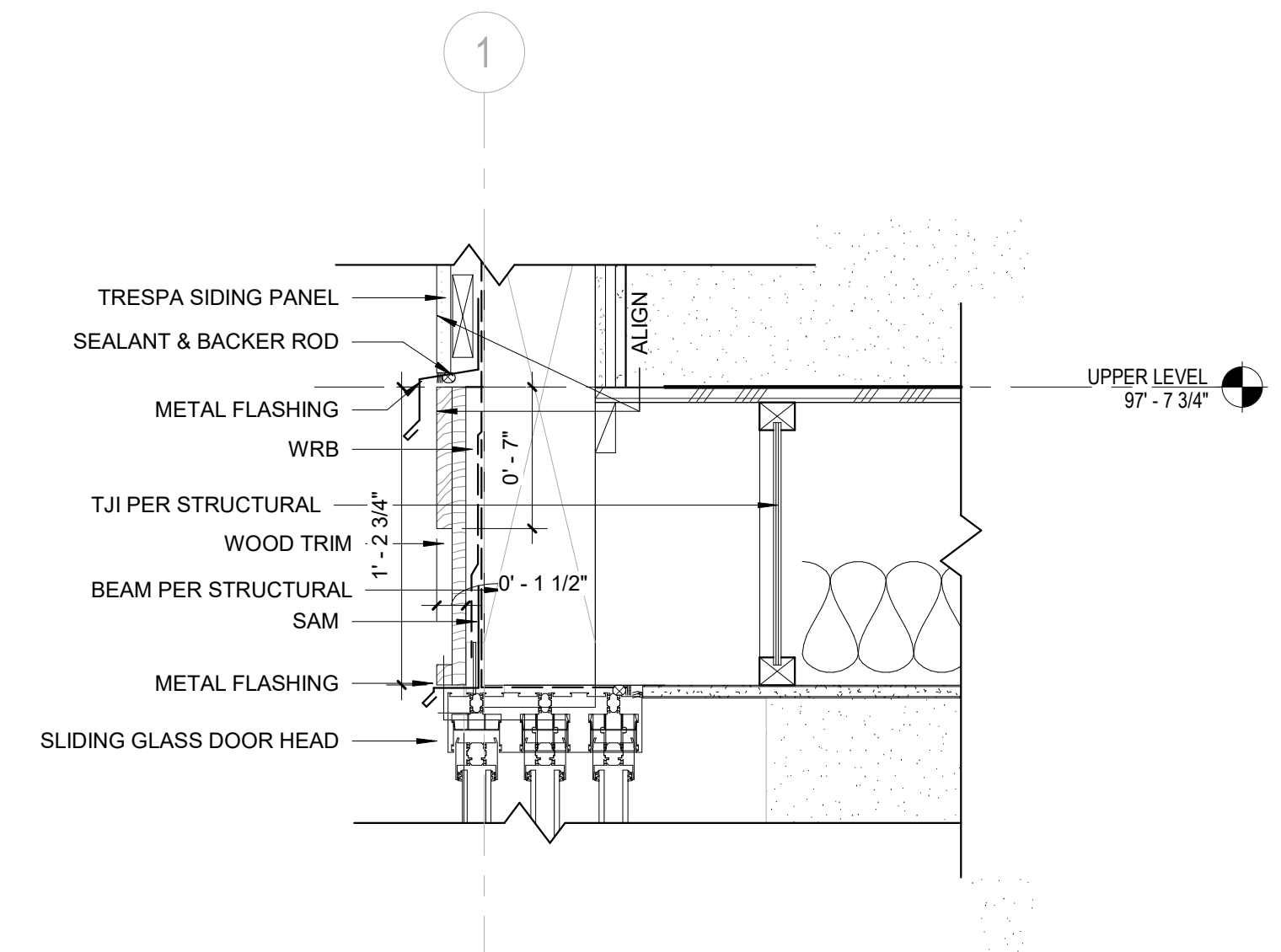
5 ROOF OVERHANG
Scale: 1 1/2" = 1'-0"



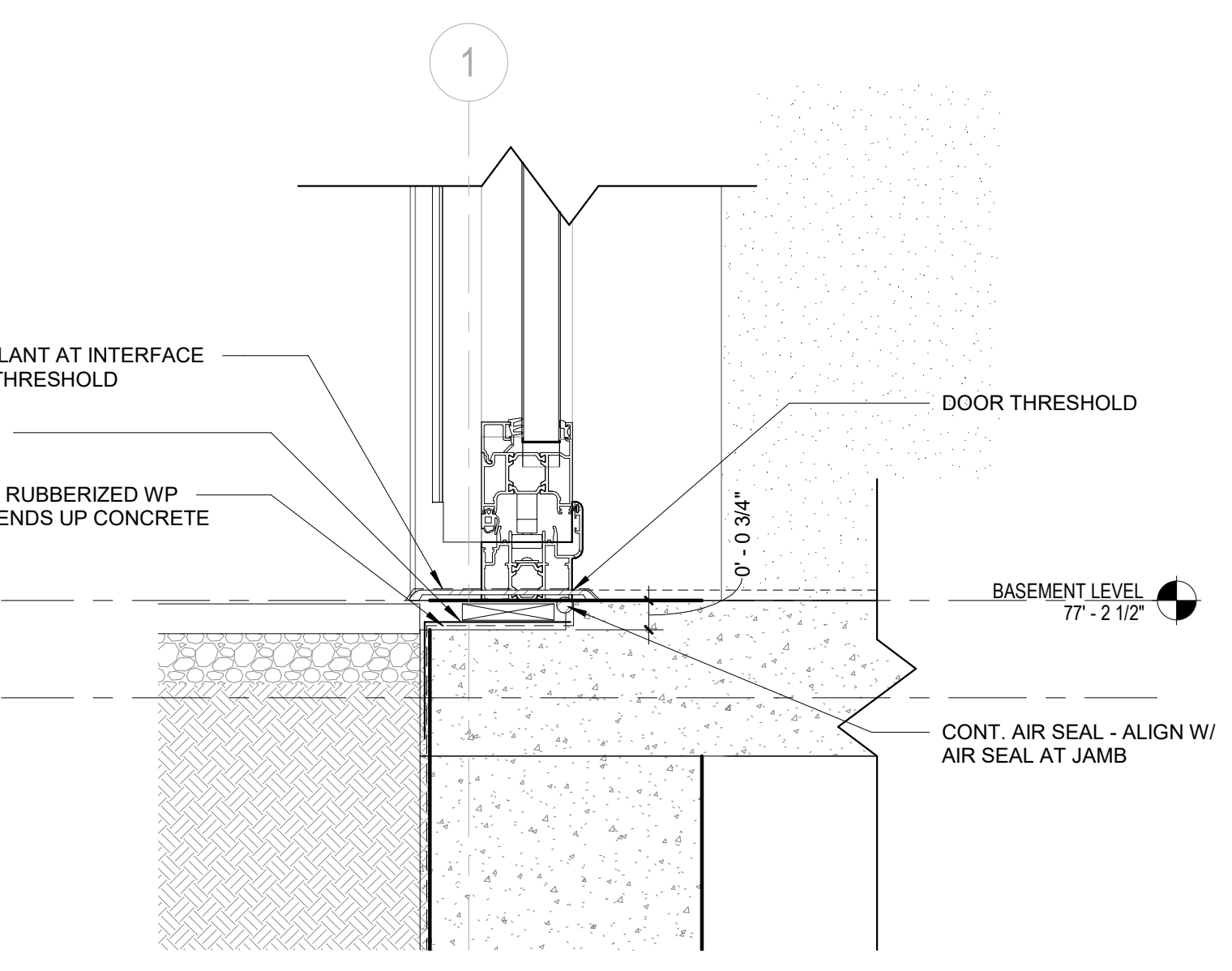
3 BALCONY & DOOR SILL
Scale: 1 1/2" = 1'-0"



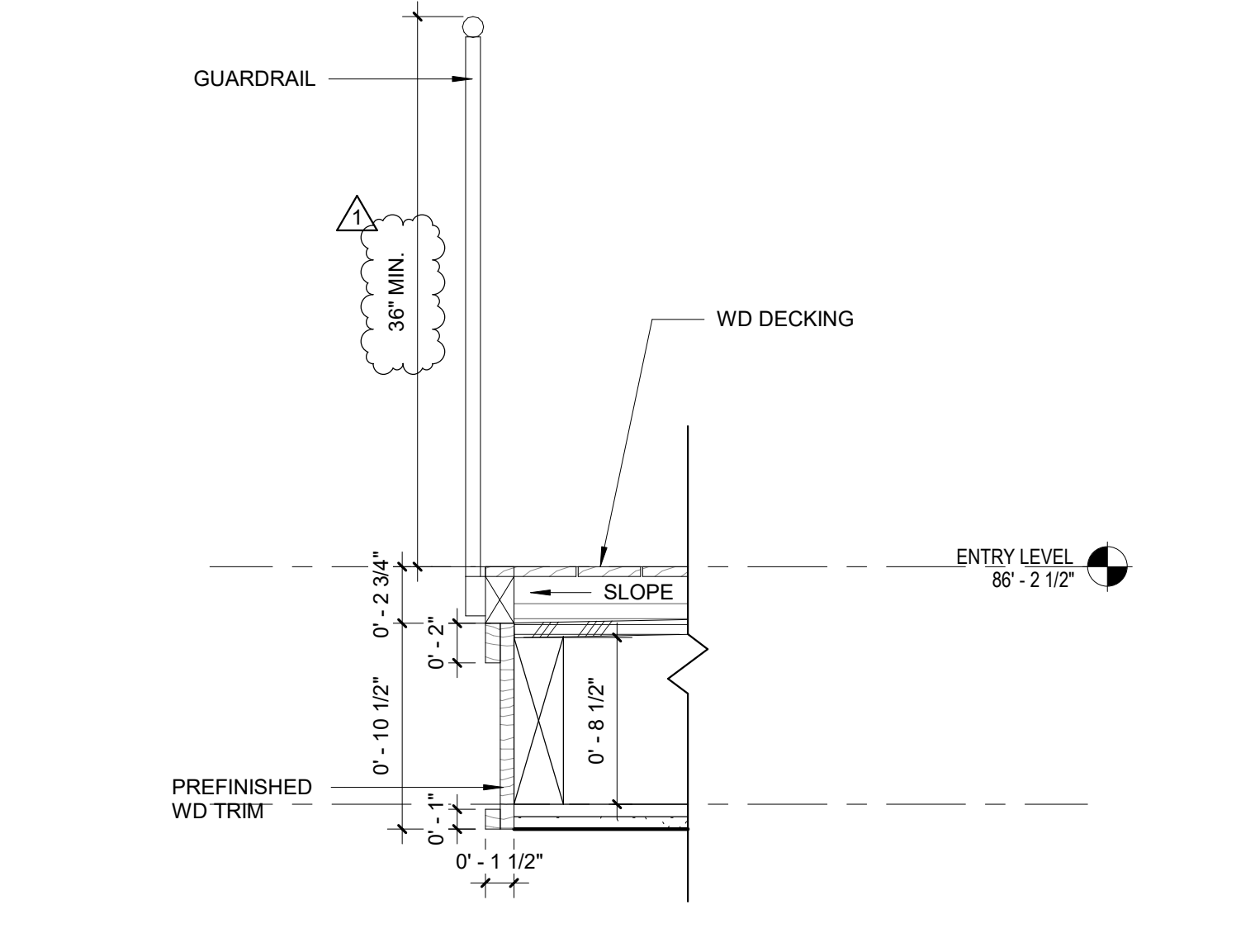
7 DOOR SILL @ DECK
Scale: 1 1/2" = 1'-0"




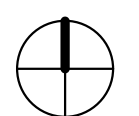
6 DOOR HEAD @ ENTRY LEVEL
Scale: 1 1/2" = 1'-0"



4 WINDOW SILL
Scale: 3" = 1'-0"



8 BALCONY RAILING DETAIL
Scale: 1 1/2" = 1'-0"

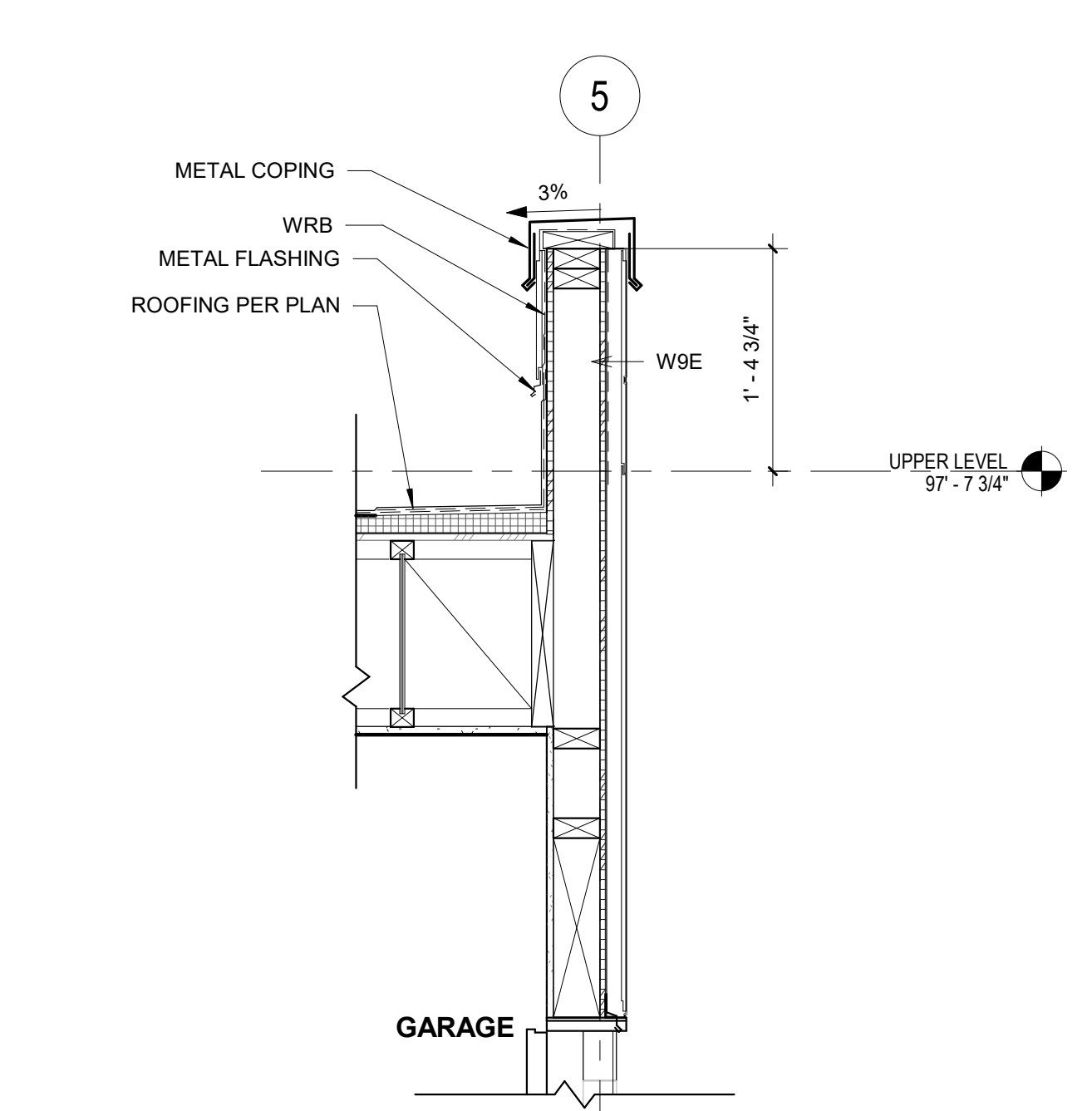
PROJECT PAEK RESIDENCE								
ADDRESS 2215 80th Ave SE Mercer Island, WA 98040								
CLIENT Timothy & Elen Paek								
<table border="1"> <thead> <tr> <th>No.</th> <th>Comment</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>Comment 1</td> <td>08/16/19</td> </tr> </tbody> </table>			No.	Comment	Date	1	Comment 1	08/16/19
No.	Comment	Date						
1	Comment 1	08/16/19						
REVISIONS								
DRAWING STATUS								
<p>Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. ALL DIMENSIONS ARE SHOWN IN IMPERIAL.</p>								
 ARCHITECTURE 600 108th Ave NE Suite 1108 Bellevue WA 98004 425.559.7888 contact@mzaus.com								
STAMP								
DRAWING TITLE WALL SECTIONS & DETAILS								
DRAWN Author	DESIGNED Designer							
DATE 08/16/19								
GRAPHIC SCALE As indicated								
PROJECT NO. 18-009								
DRAWING NO. A6.0	REVISION NO. 1							

FILE NAME:
PLOT TIME:
DATE:

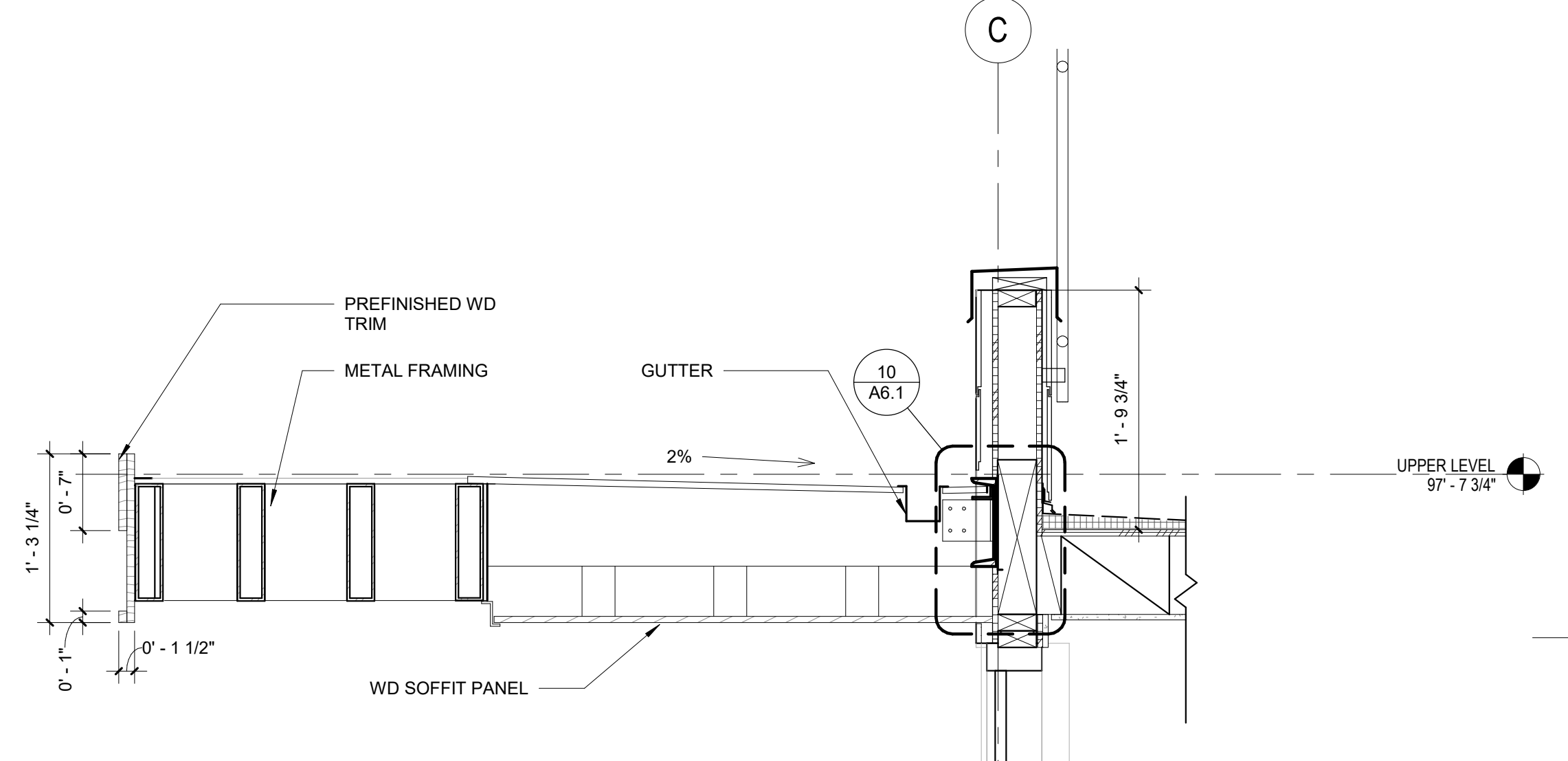
PROJECT
PAEK RESIDENCE

ADDRESS
2215 80th Ave SE
Mercer Island, WA 98040

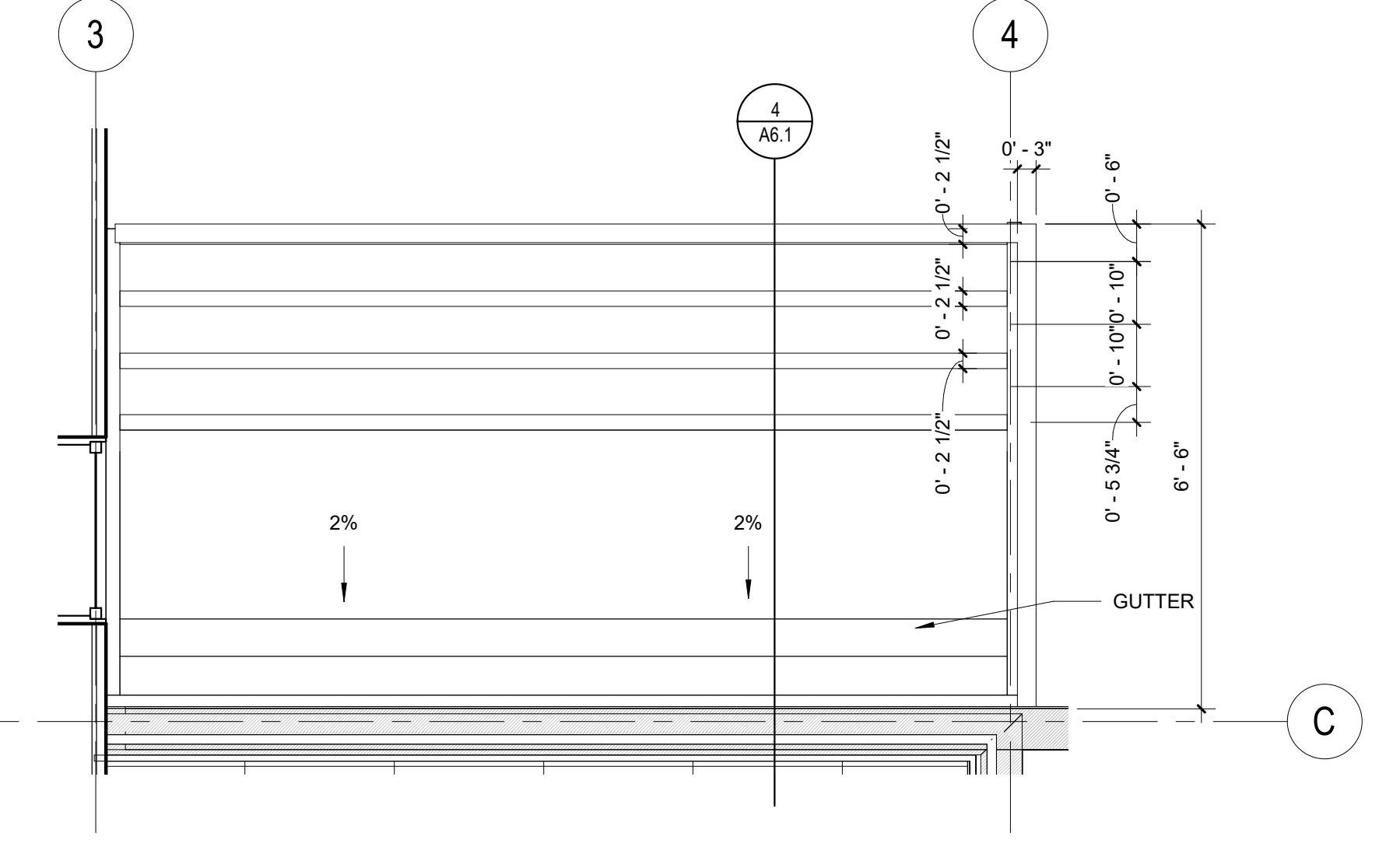
CLIENT
Timothy & Elen Paek



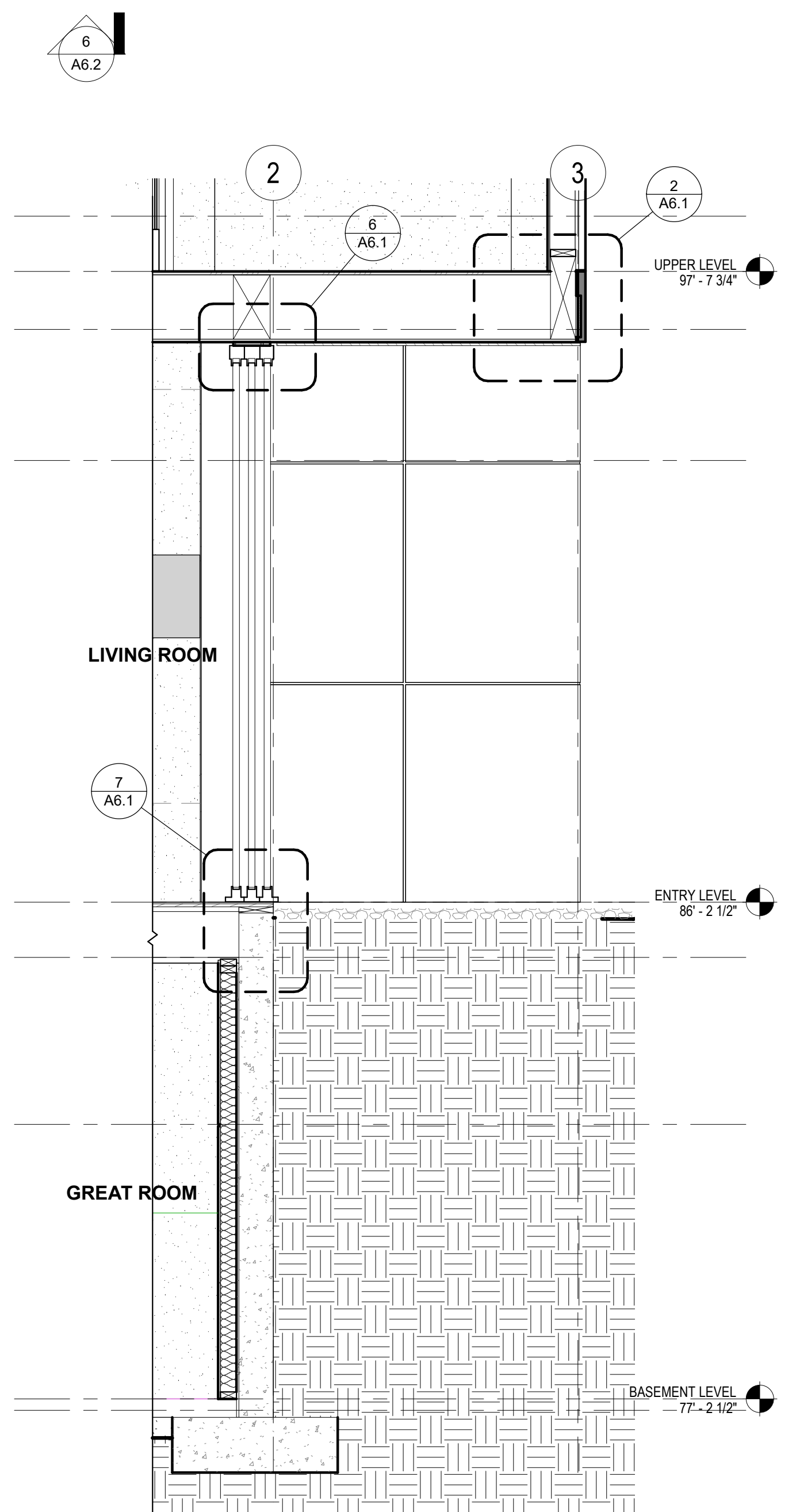
3 WALL SECTION @ GARAGE DOOR -
Scale: 1" = 1'-0"



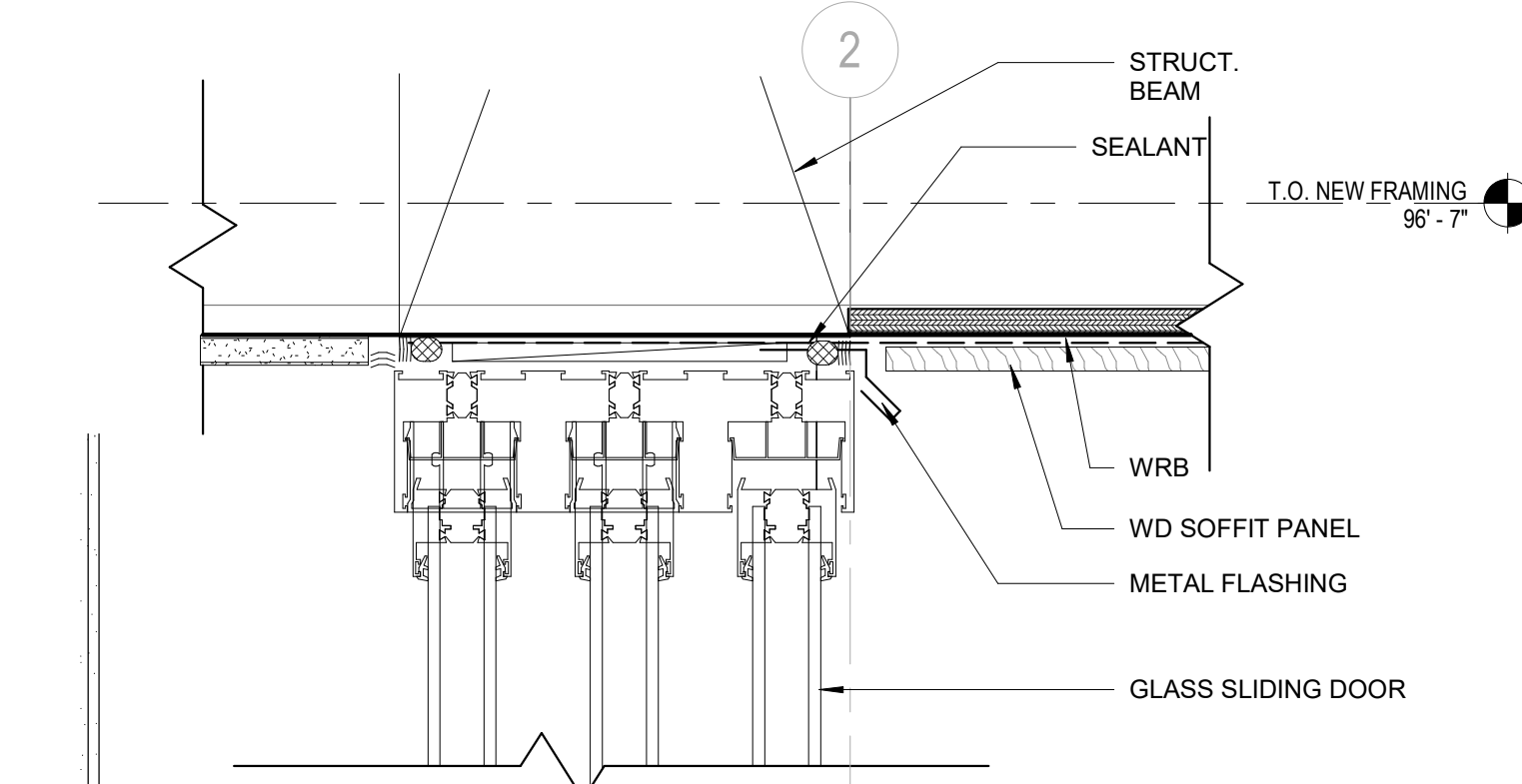
4 ENTRY CNOPY SCETION
Scale: 1" = 1'-0"



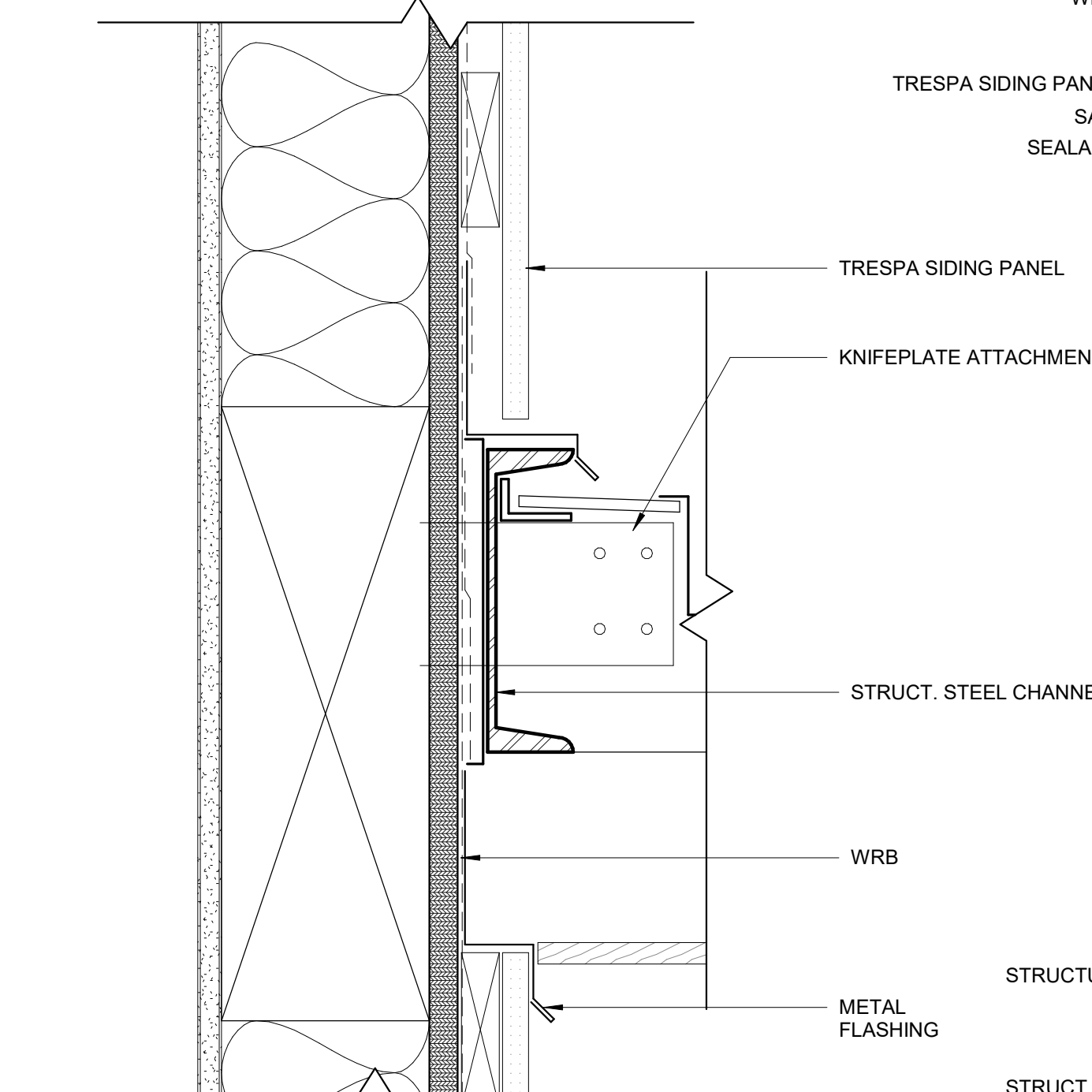
5 ENTRY CANOPY PLAN
Scale: 1/2" = 1'-0"



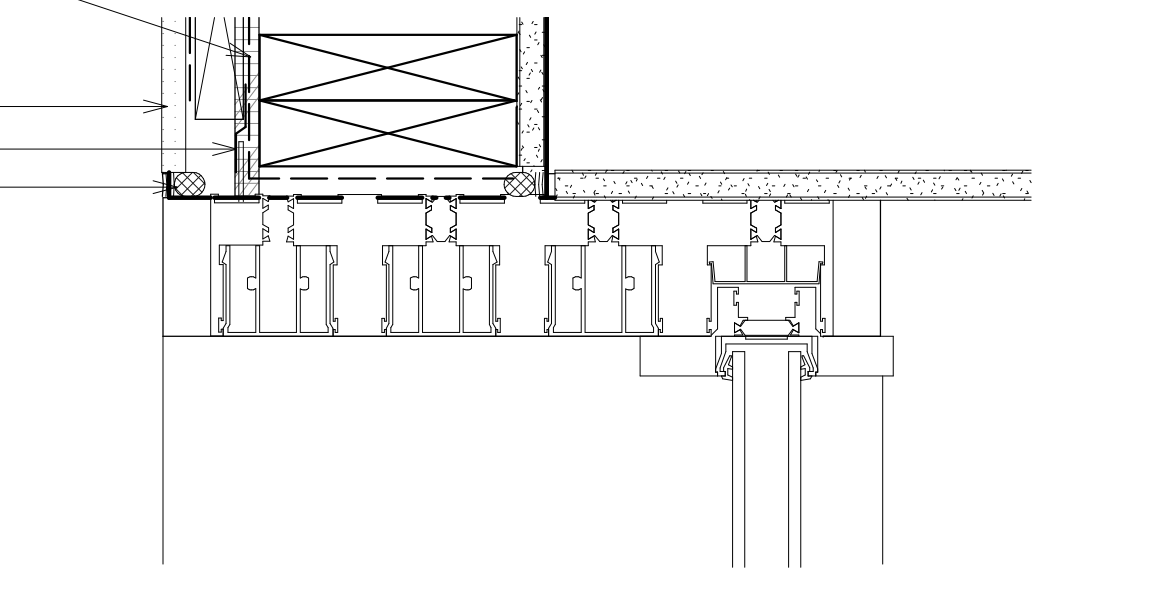
1 WALL SECTION @ GREAT ROOM
Scale: 1/2" = 1'-0"



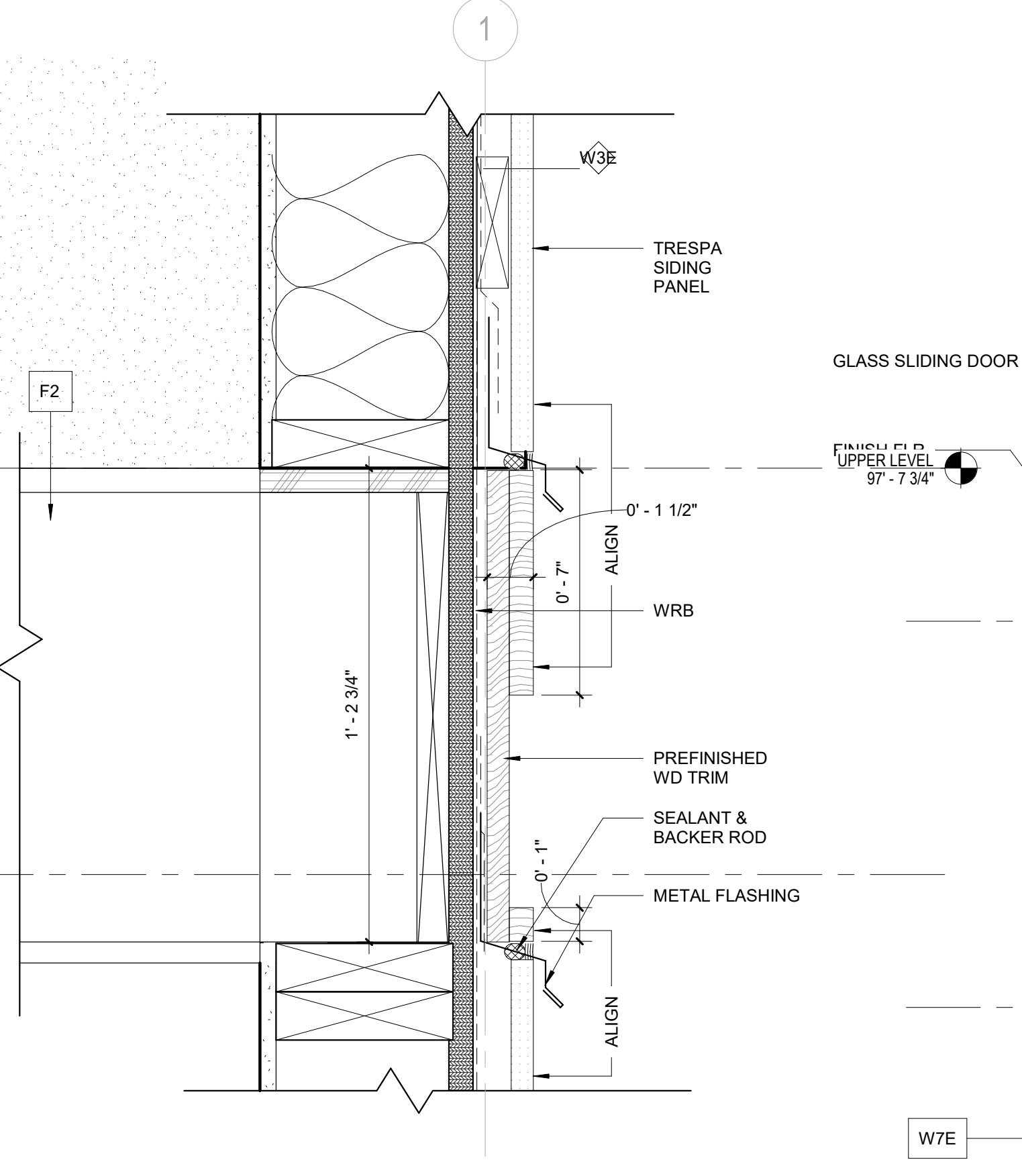
6 DOOR HEAD AT SOFFIT
Scale: 3" = 1'-0"



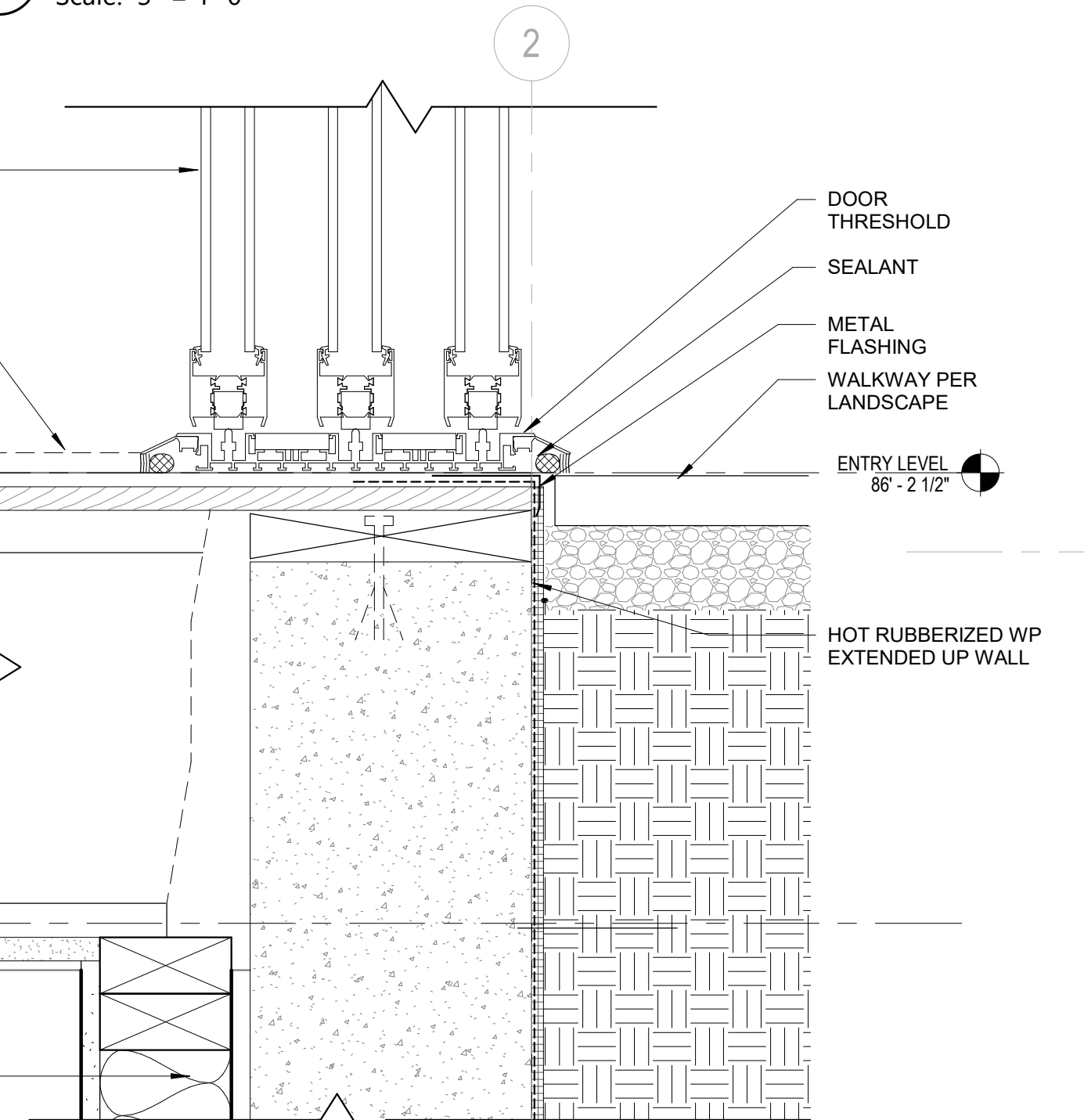
10 KNIFE PLATE AT CANOPY
Scale: 3" = 1'-0"



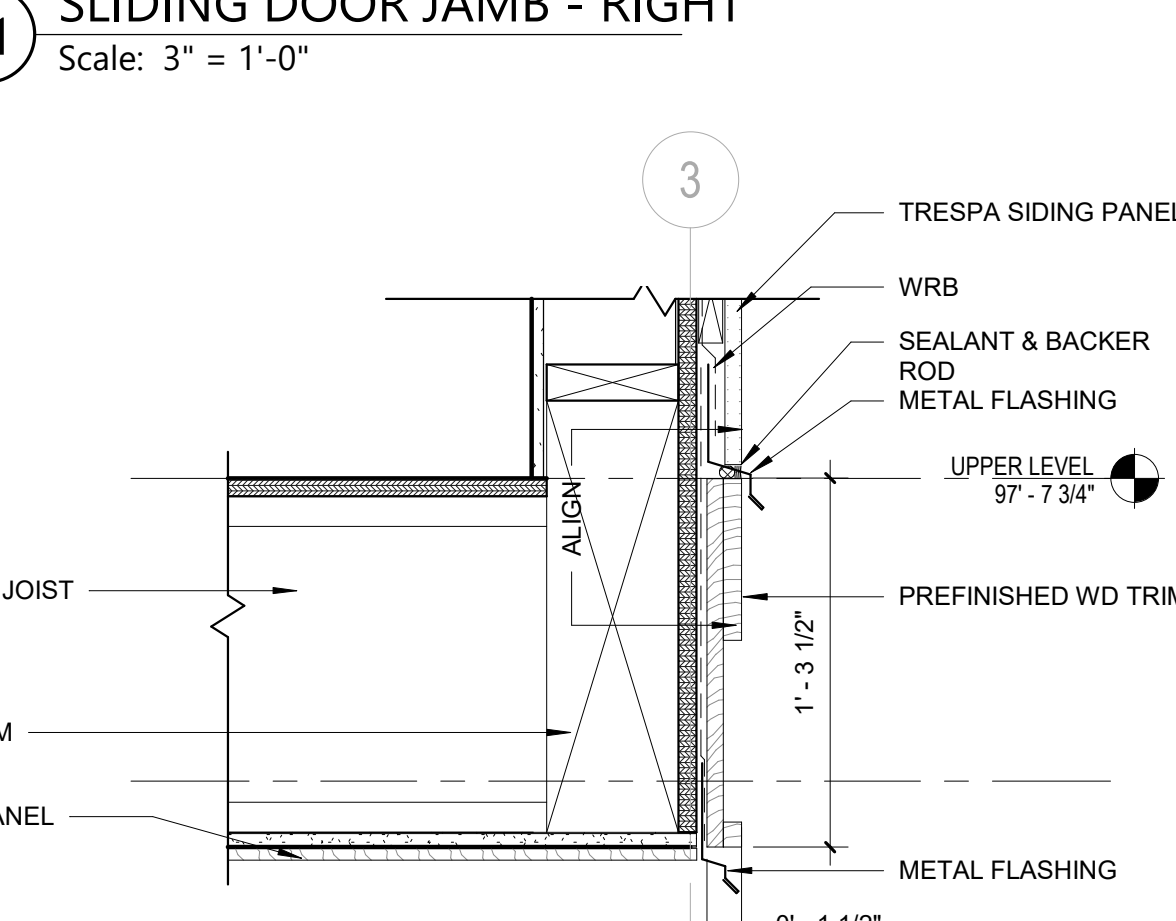
11 SLIDING DOOR JAMB - RIGHT
Scale: 3" = 1'-0"



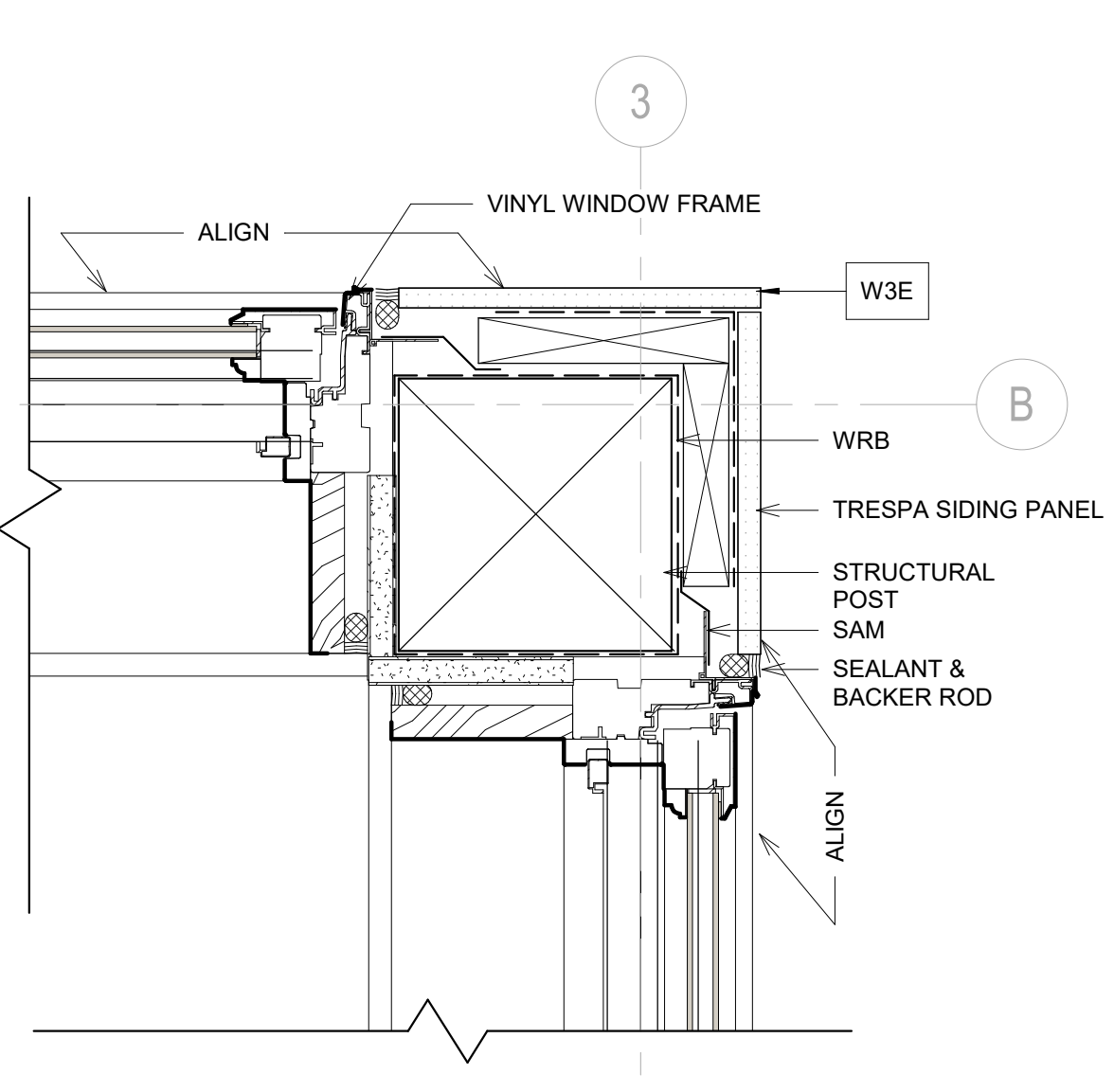
9 MATERIAL TRANSITION AT FLR LINE
Scale: 3" = 1'-0"



7 LIVING ROOM ENTRY DOOR DETAIL
Scale: 3" = 1'-0"



2 FLOOR EDGE AT SOFFIT
Scale: 1 1/2" = 1'-0"



8 OUTSIDE CORNER DETAIL
Scale: 3" = 1'-0"

No.	Description	Date
REVISIONS		
DRAWING STATUS		

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. ALL DIMENSIONS ARE SHOWN IN IMPERIAL.



425.559.7888
contact@mza.com

STAMP
REGISTERED ARCHITECT
Ming Zhang
STATE OF WASHINGTON

DRAWING TITLE
WALL SECTIONS & DETAILS

DRAWN Author
DESIGNED Designer

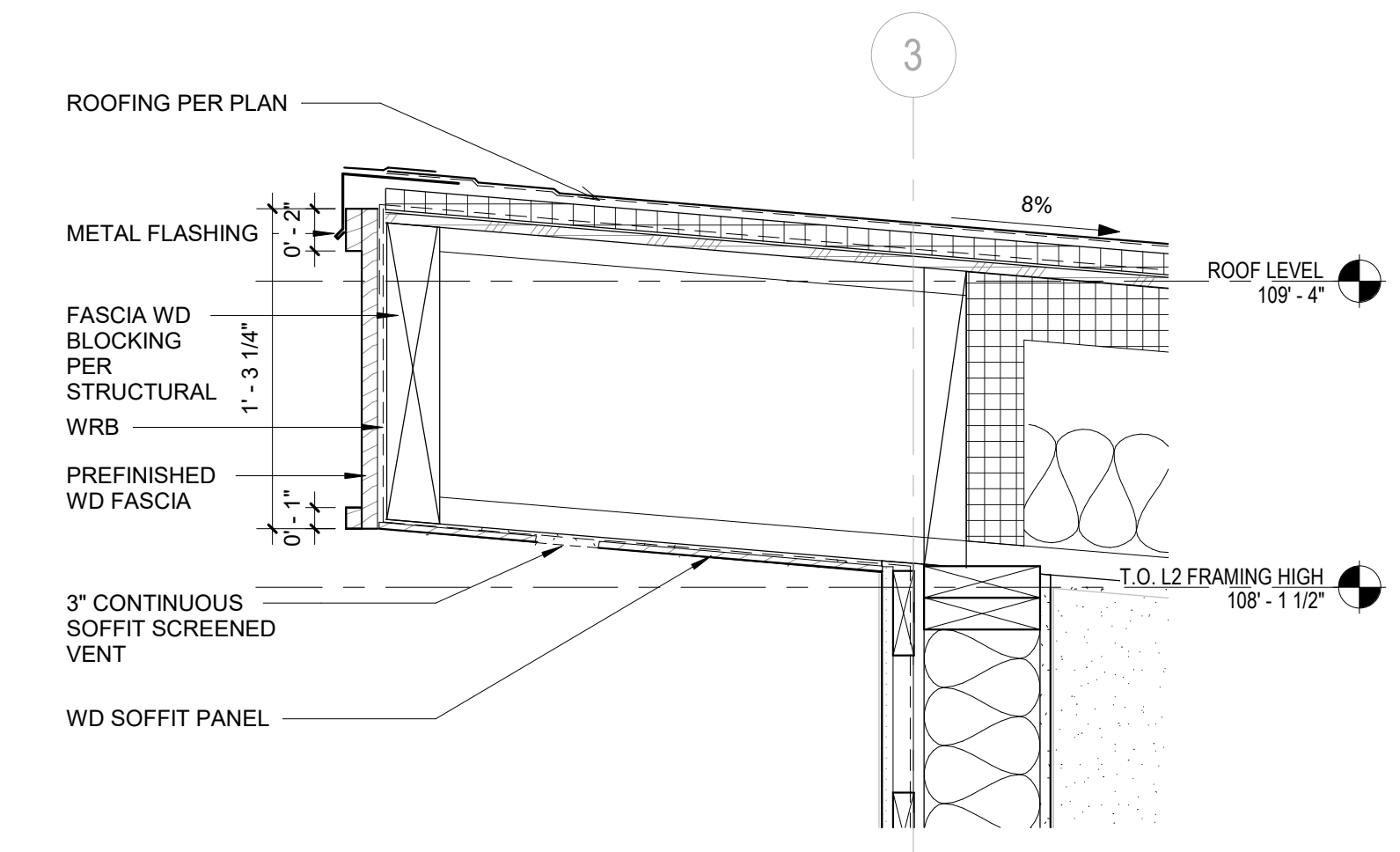
DATE 08/16/19

GRAPHIC SCALE
As indicated

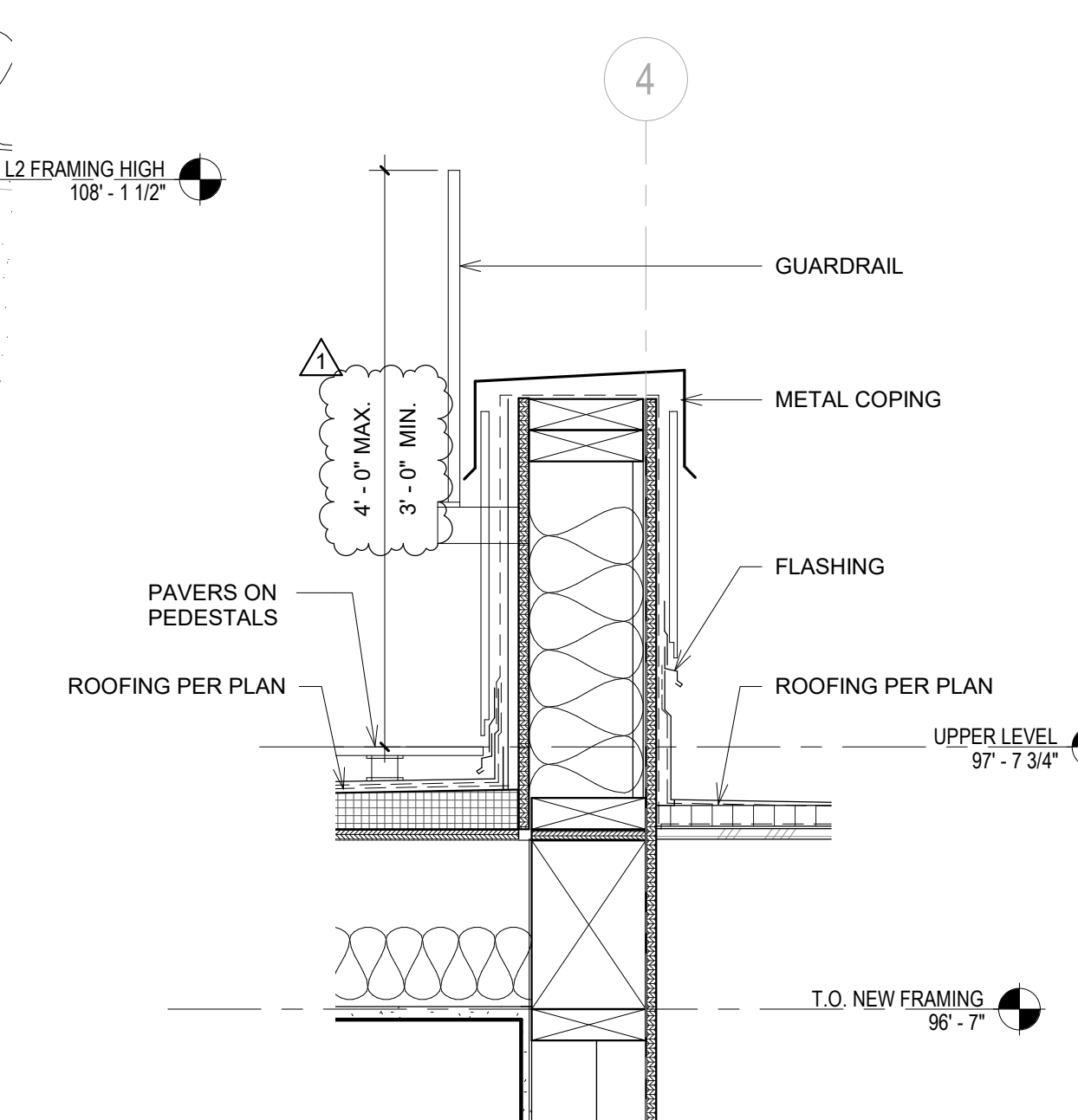
PROJECT NO.
18-009

DRAWING NO.
A6.1

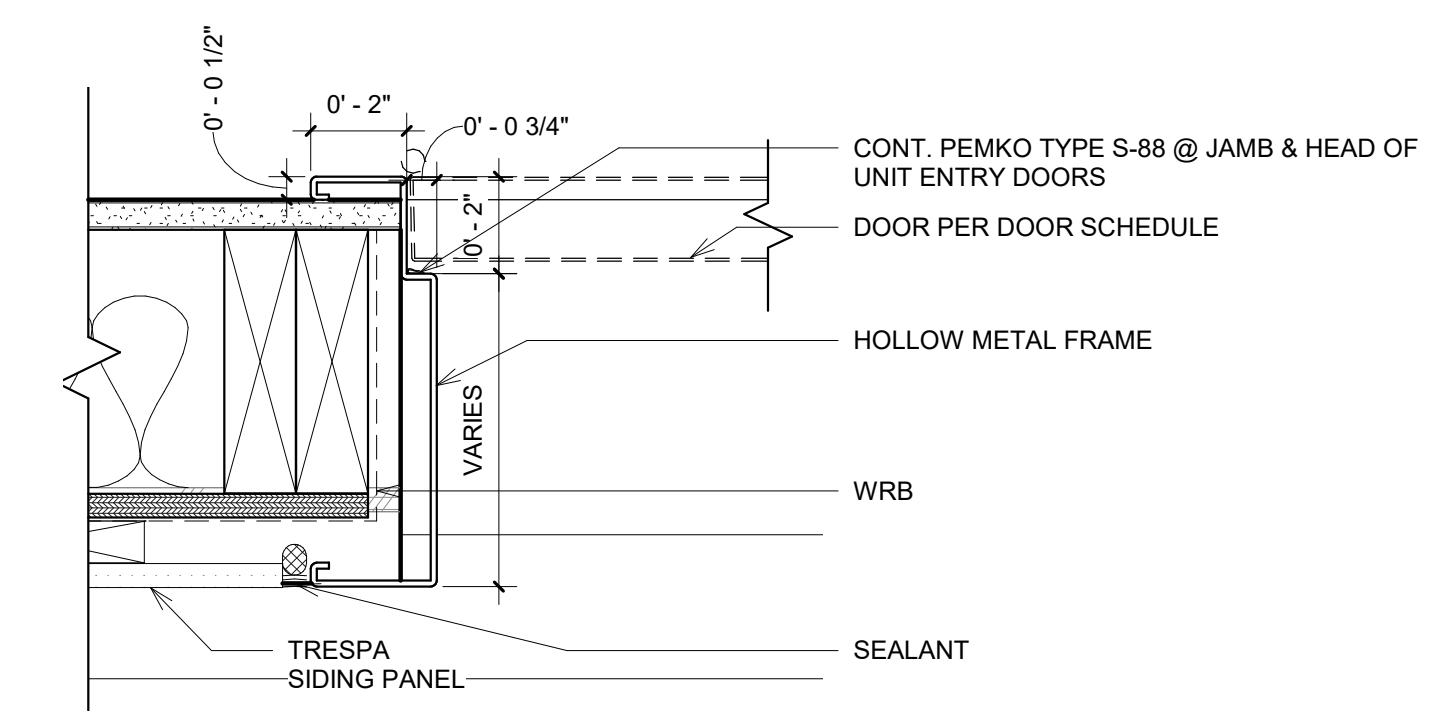
REVISION NO.



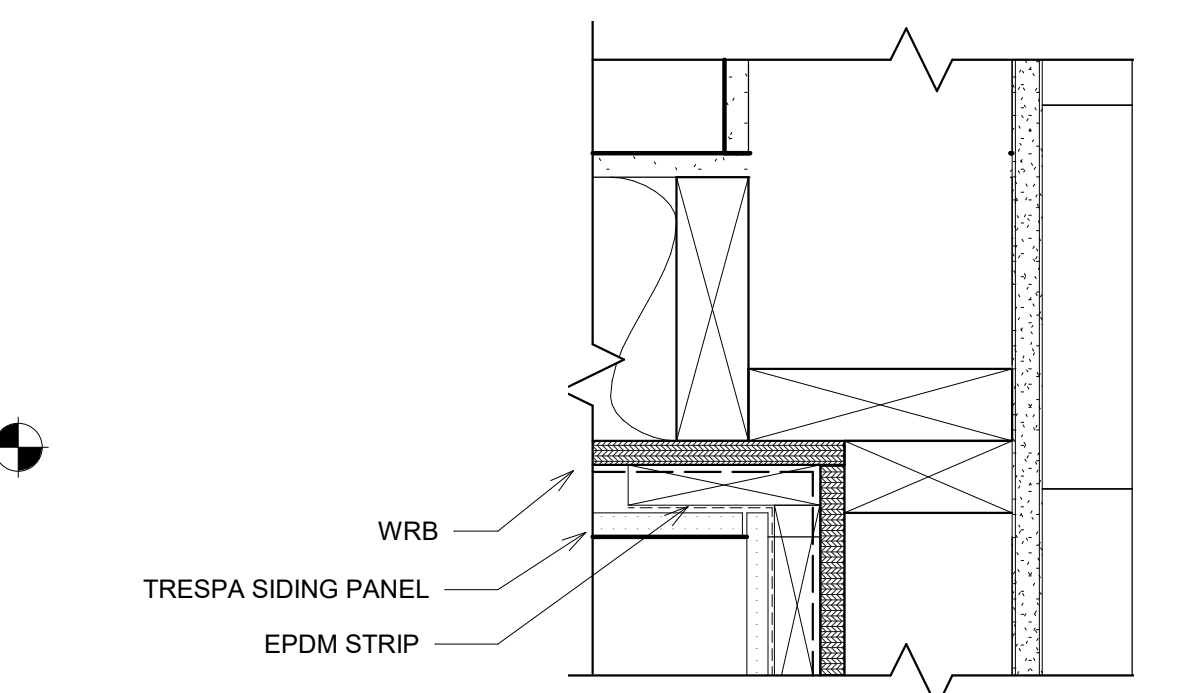
10 SLOPED ROOF OVERHANG
Scale: 1 1/2" = 1'-0"



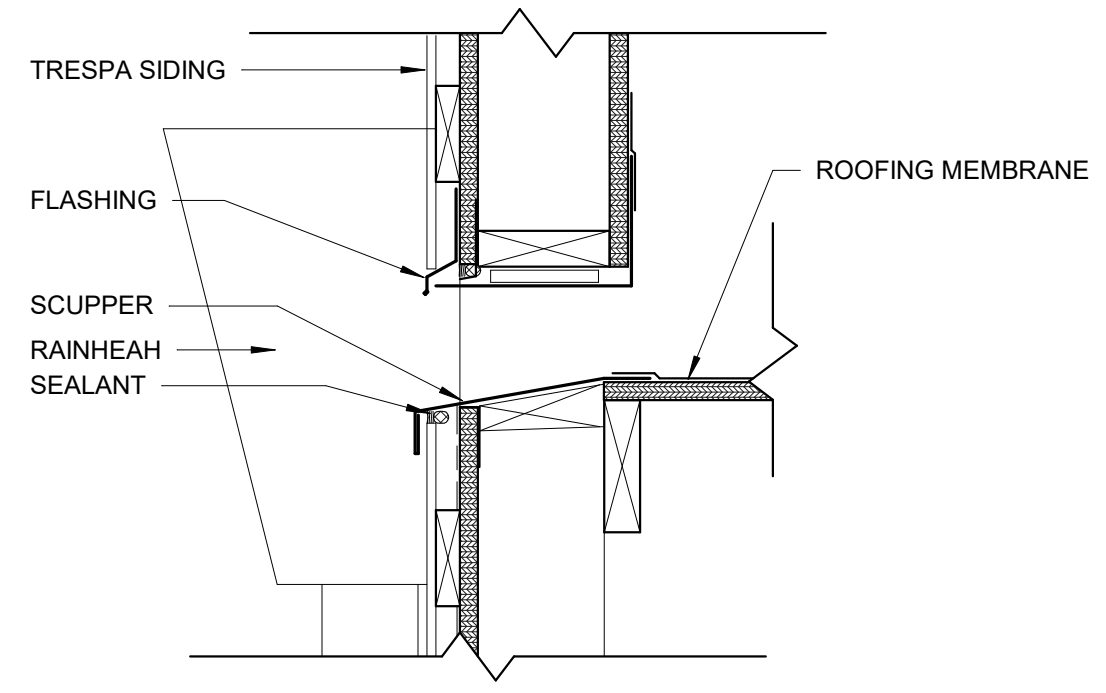
9 SECTION AT RAILING / PARAPET
Scale: 1 1/2" = 1'-0"



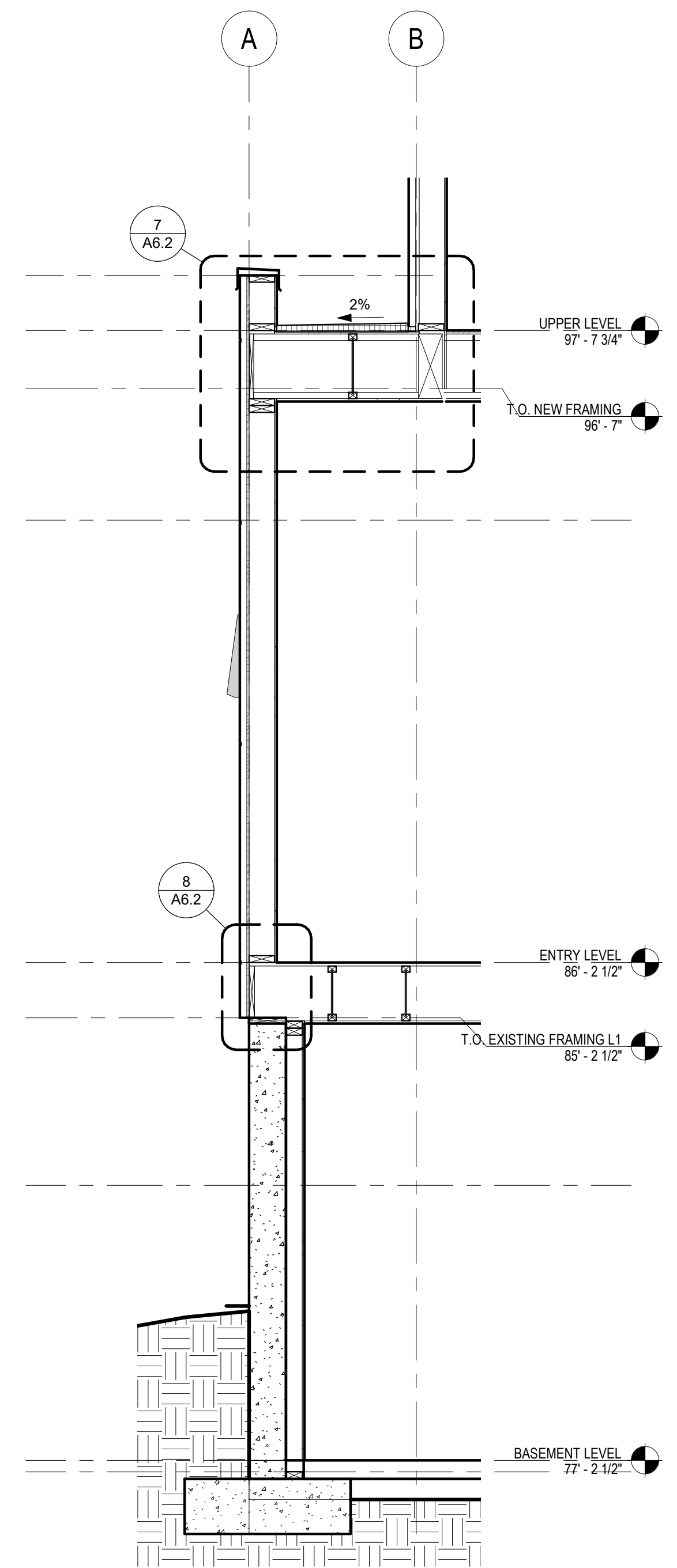
4 HOLLOW METAL JAMB DETAIL
Scale: 3" = 1'-0"



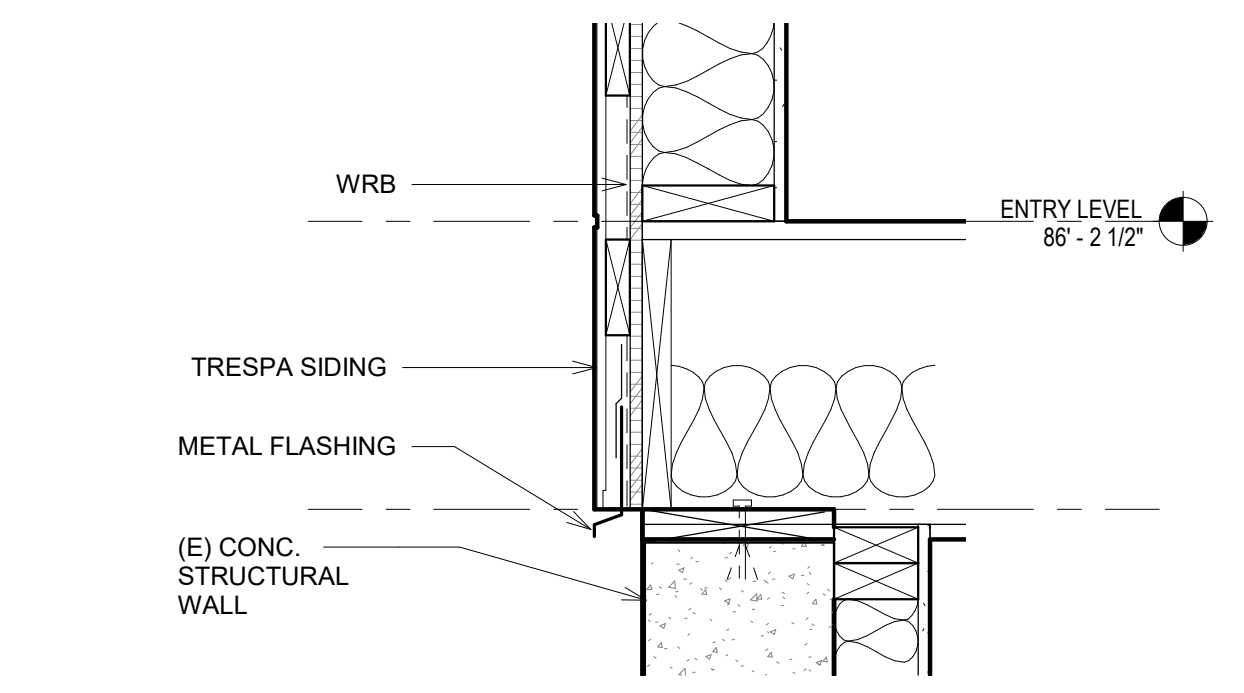
3 INNER CORNER - TRESPA
Scale: 3" = 1'-0"



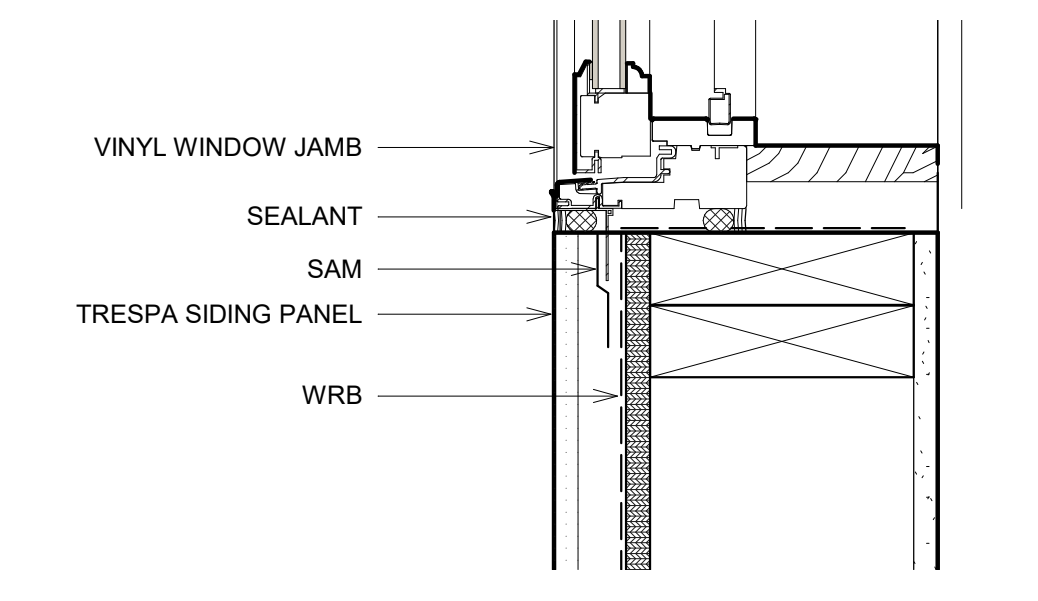
11 SCUPPER DETAIL
Scale: 1 1/2" = 1'-0"



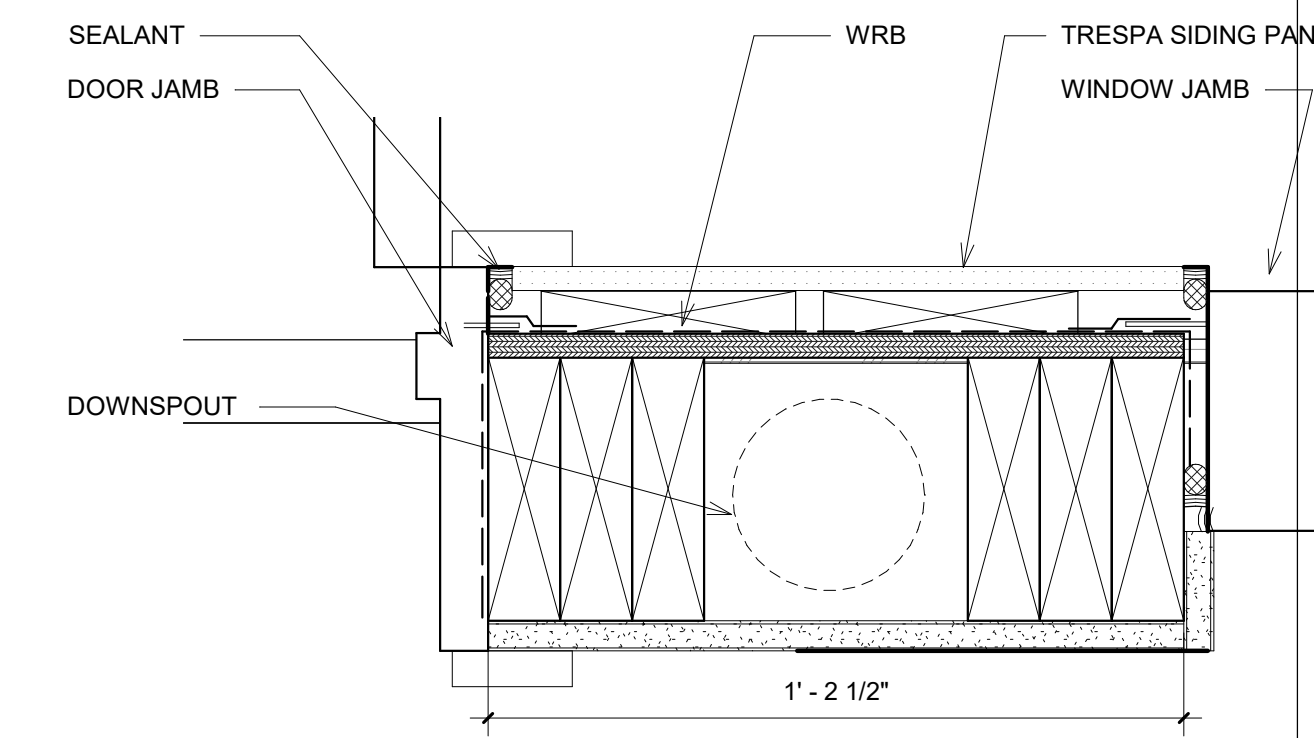
6 WALL SECTION - STAIR ROOF
Scale: 1/2" = 1'-0"



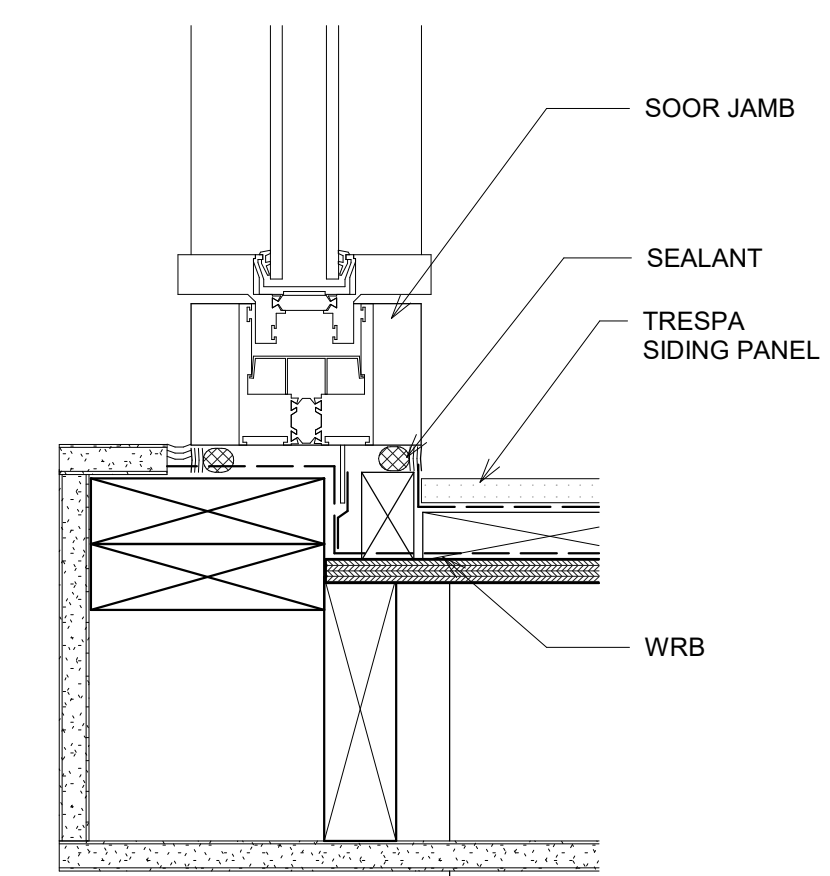
8 CONC. WALL / WD FRAME BASE
Scale: 1 1/2" = 1'-0"



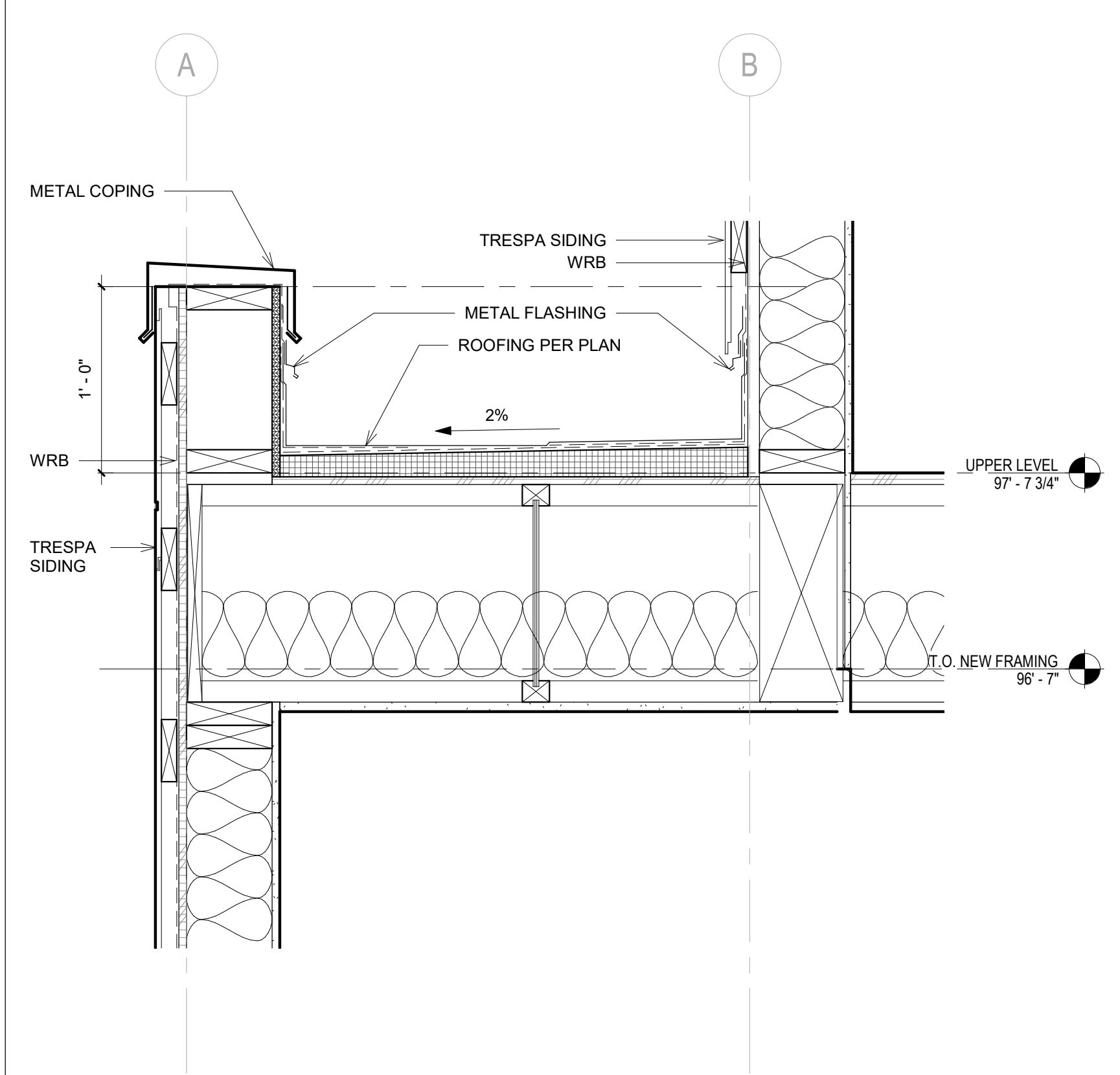
5 WINDOW JAMB DETAIL
Scale: 3" = 1'-0"



2 DETAIL AT ENTRY - DOWNSPOUT
Scale: 3" = 1'-0"



1 DOOR JAMB - INNER CORNER
Scale: 3" = 1'-0"



7 Detail AT PARAPET
Scale: 1 1/2" = 1'-0"

PROJECT
PAEK RESIDENCE

ADDRESS
2215 80th Ave SE
Mercer Island, WA 98040

CLIENT
Timothy & Elen Paek

No.	Comment	Date
1	Comment 1	08/16/19

REVISIONS
DRAWING STATUS
Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. ALL DIMENSIONS ARE SHOWN IN IMPERIAL.



600 108th Ave NE
Suite 1108
Bellevue WA 98004
425.559.7888
contact@mza.us

STAMP
REGISTERED ARCHITECT
Ming Zhang
STATE OF WASHINGTON

DRAWING TITLE
WALL SECTIONS & DETAILS

DRAWN Author
DESIGNED Designer

DATE 08/16/19

GRAPHIC SCALE
As indicated

PROJECT NO.
18-009

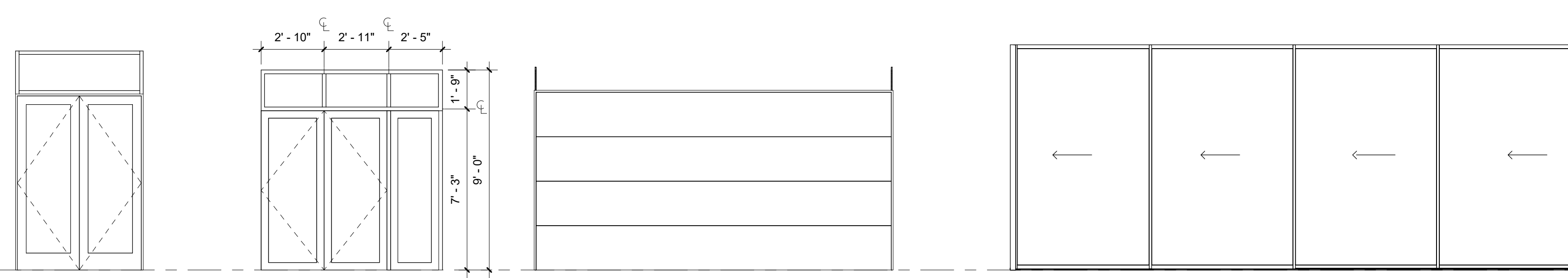
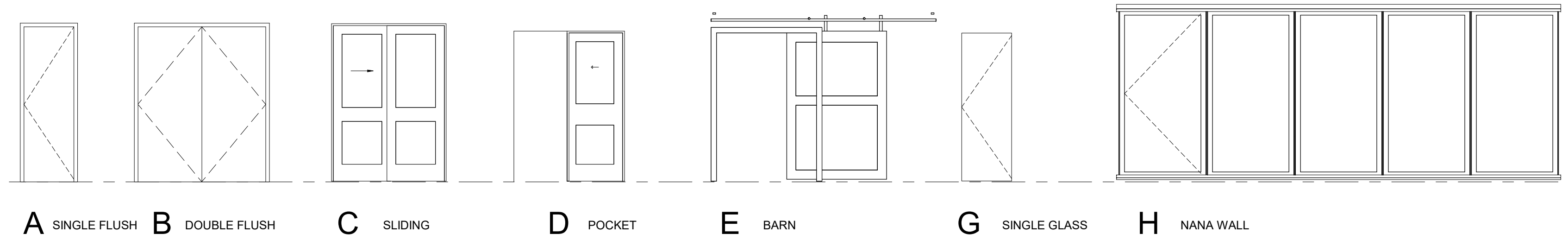
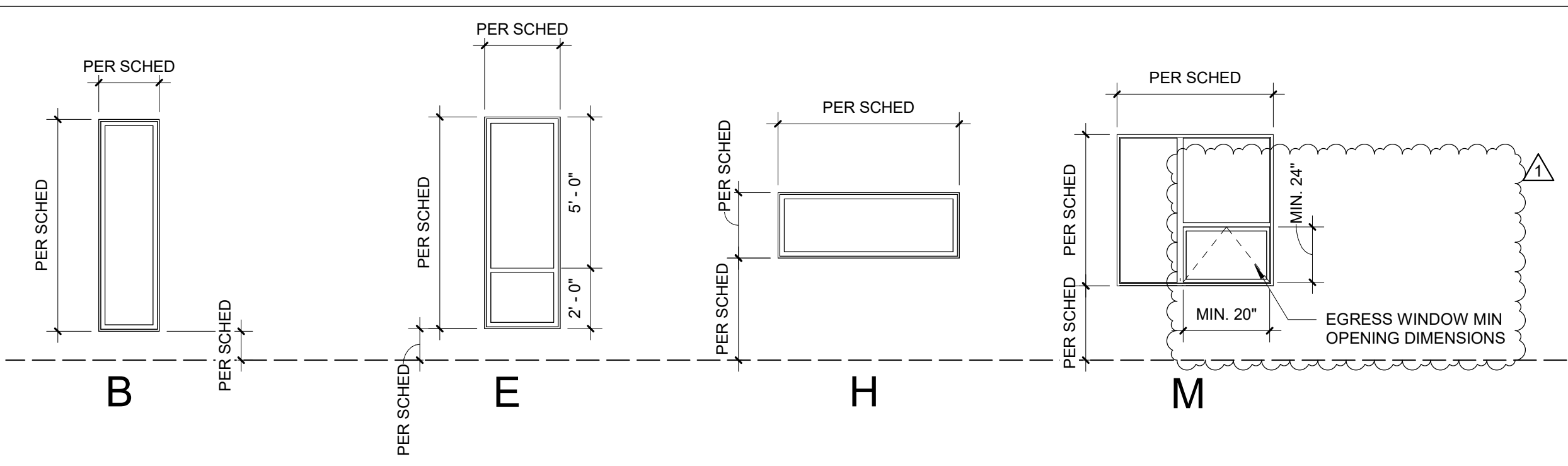
DRAWING NO. A6.2
REVISION NO. 1

Window Schedule								
Level	Type Mark	Mark	MATERIAL	Width	Height	Sill Height	Window Area	Comments
BASEMENT LEVEL	B	O2	VINYL	2'-0"	7'-0"	0'-6"	14 SF	
BASEMENT LEVEL	B	O2	VINYL	2'-0"	7'-0"	0'-6"	14 SF	
BASEMENT LEVEL	M	O7	VINYL	5'-2"	5'-0"	3'-0"	26 SF	EGRESS WINDOW
ENTRY LEVEL	E	O8	VINYL	2'-6"	4'-0"	3'-11 3/4"	10 SF	
ENTRY LEVEL	M	O11	VINYL	5'-2"	5'-6"	3'-6"	28 SF	EGRESS WINDOW
UPPER LEVEL	E	O16	VINYL	2'-6"	7'-0"	2'-0"	18 SF	
UPPER LEVEL	E	O16	VINYL	2'-6"	7'-0"	2'-0"	18 SF	
UPPER LEVEL	E	O16	VINYL	2'-6"	7'-0"	2'-0"	18 SF	
UPPER LEVEL	H	O14	VINYL	6'-0"	2'-0"	5'-0"	12 SF	
UPPER LEVEL	H	O15	VINYL	5'-0"	2'-0"	7'-0"	10 SF	
UPPER LEVEL	H	O14	VINYL	5'-0"	2'-0"	5'-0"	10 SF	
UPPER LEVEL	M	O12	VINYL	6'-0"	5'-0"	2'-0"	30 SF	EGRESS WINDOW
UPPER LEVEL	M	O12	VINYL	6'-0"	5'-0"	2'-0"	30 SF	EGRESS WINDOW
UPPER LEVEL	M	O13	VINYL	6'-10"	7'-0"	2'-0"	48 SF	EGRESS WINDOW
							302 SF	

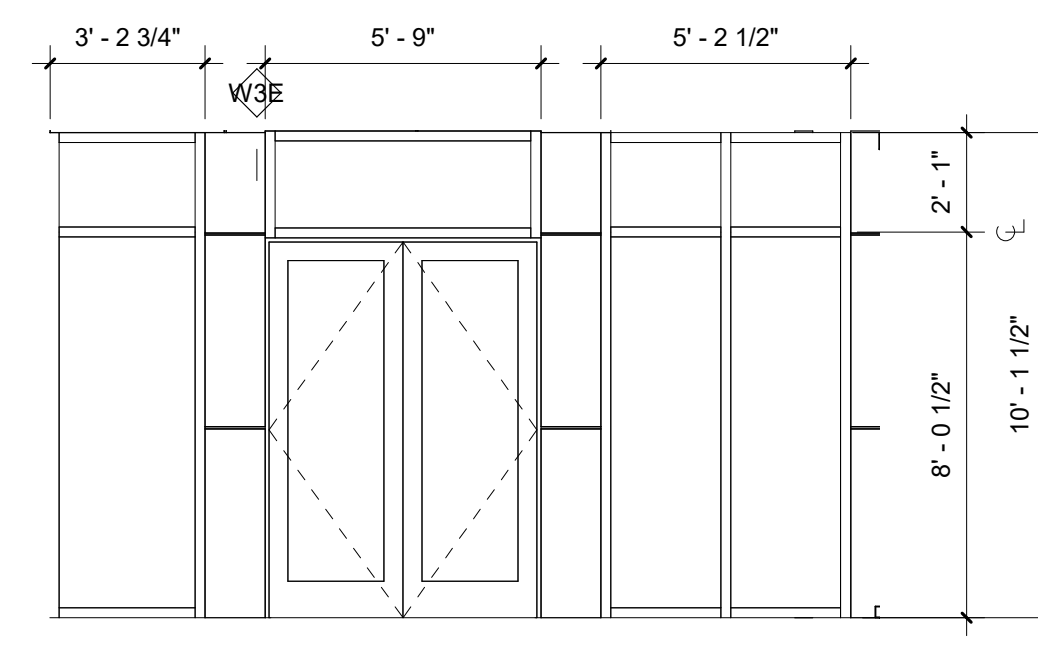
NOTE:
 REFER TO SHEET A0.2 SECTION FOR ENERGY CODE NOTES REGARDING WINDOW ENERGY PERFORMANCE AND VALUES.
 GLAZING IN DOORS, ADJACENT TO DOORS, AND IN WINDOWS ARE TEMPERED IN HAZARDOUS LOCATIONS PER R308.4.
 EGRESS WINDOW REQUIREMENTS ARE PER R310.

Door Schedule													
Level	Mark	Type Mark	Height	Width	Door Material	Door Finish	Frame Material	Frame Finish	Fire Rating	Door Area	U-Value	UA	Comments
BASEMENT LEVEL	005	A	6'-8"	2'-6"					NR	16.67			
BASEMENT LEVEL	002	A	6'-8"	2'-8"					NR	17.78			
BASEMENT LEVEL	001	A	6'-8"	2'-6"					NR	16.67			
BASEMENT LEVEL	003	A	6'-8"	2'-6"					NR	16.67			
BASEMENT LEVEL	004	D	6'-8"	2'-6"					NR	16.67			
BASEMENT LEVEL	006	H	7'-9 1/4"	20'-0"						155.42			
ENTRY LEVEL	102	A	6'-8"	2'-6"					NR	16.67			
ENTRY LEVEL	103	A	6'-8"	2'-6"					NR	16.67			
ENTRY LEVEL	104	A	6'-8"	2'-6"					NR	16.67			
ENTRY LEVEL	101	A	8'-0"	3'-0"					NR	24			
ENTRY LEVEL	105	A	6'-8"	3'-0"	Finishes - Paint - White	Door - Panel	Finishes - Paint - White		20 MIN.	20			PROVIDE SELF-CLOSER
ENTRY LEVEL	106	B-1	7'-10"	5'-7"					NR	43.74			
ENTRY LEVEL	110	K	8'-0"	16'-0"					NR	128			
ENTRY LEVEL	109	L	10'-2"	26'-0"						264.33			
ENTRY LEVEL	108	L	10'-1"	26'-10"						270.57			
UPPER LEVEL	208	A	6'-8"	2'-6"					NR	16.67			
UPPER LEVEL	207	A	6'-8"	2'-6"					NR	16.67			
UPPER LEVEL	201	A	6'-8"	2'-6"					NR	16.67			
UPPER LEVEL	210	A	6'-8"	2'-8"					NR	17.78			
UPPER LEVEL	204	A	6'-8"	2'-8"					NR	17.78			
UPPER LEVEL	202	A	6'-8"	2'-6"					NR	16.67			
UPPER LEVEL	203	B	6'-8"	4'-10"					NR	32.22			
UPPER LEVEL	214	B-2	7'-2"	5'-8"					NR	40.61	0.5	20.31	
UPPER LEVEL	209	C	7'-0"	5'-0"					NR	35			
UPPER LEVEL	205	C	7'-0"	5'-0"					NR	35			
UPPER LEVEL	206	C	7'-0"	5'-0"					NR	35			
UPPER LEVEL	212	E	6'-8"	4'-6"					NR	30			
UPPER LEVEL	213	G	6'-8"	2'-3"					NR	15			

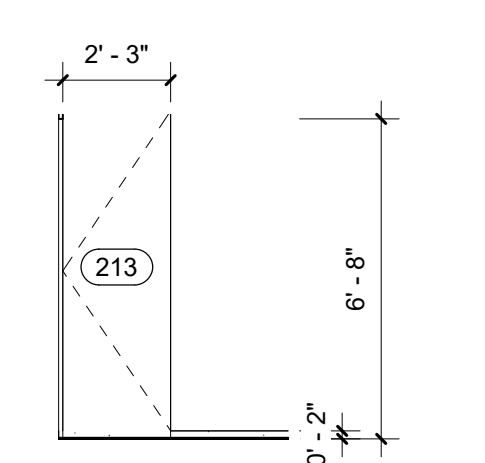
WINDOW TYPES



DOOR TYPES



2 S2 GLASS WALL ELEVATION
 Scale: 1/4" = 1'-0"



3 S1 GLASS WALL ELEVATION
 Scale: 1/4" = 1'-0"

PROJECT
PAEK RESIDENCE

ADDRESS
 2215 80th Ave SE
 Mercer Island, WA 98040

CLIENT
 Timothy & Elen Paek

1	Comment 1	08/16/19
No.	Description	Date

REVISIONS

DRAWING STATUS

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.
 ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

ARCHITECTURE

600 108th Ave NE
 Suite 1108
 Bellevue WA 98004

425.559.7888
 contact@mzaus.com

STAMP

DRAWING TITLE
WINDOW & DOOR TYPE AND SCHEDULE

DRAWN
 Author

DESIGNED
 Designer

DATE
 08/16/19

GRAPHIC SCALE
 1/4" = 1'-0"

PROJECT NO.
 18-009

DRAWING NO.
A7.0

REVISION NO.
 1

SEE EXTERIOR ELEVATIONS FOR LOCATIONS OF INTENDED CLADDING MATERIALS

MARK	WALL ASSEMBLY COMPONENTS
W1E	EXTERIOR WALL - CAST IN PLACE CONCRETE WALL <p>EXTERIOR: PROVIDE FINISH TO EXPOSED CONCRETE WALL AS INDICATED ON ELEVATIONS</p> <p>ABOVE GRADE: DRAINAGE MAT</p> <p>BELOW GRADE: BENTONITE BELOW GRADE WATERPROOFING</p> <p>BASEMENT/CONDITIONED SPACE: CAST IN PLACE CONCRETE WALL THICKNESS AND REINFORCING PER STRUCTURAL DRAWINGS</p>
W3E	EXTERIOR WALL - TRESPA METEON PANEL <p>EXTERIOR: TRESPA PANEL SIDING, ALL SEAMS AND FASTENER HEADS SEALED</p> <p>EPDM STRIP</p> <p>POLYOLEFIN WEATHER BARRIER, INSTALL PER MANUFACTURER'S REQUIREMENTS - HENRY VP 100 OR EQUIVALENT 1/2" PLYWOOD</p> <p>R-21 THERMAL FIBERGLASS BATT INSULATION</p> <p>2x6 WOOD STUD FRAMING AND SPACING PER STRUCTURAL</p> <p>INTERIOR SPACE: 1/2" GWB MIN.</p> <p>VAPOR RETARDER PAINT / PRIMER</p>
W4E	EXTERIOR WALL - TRESPA METEON PANEL <p>GERAGE SIDE: TRESPA PANEL SIDING(MATCH WITH W3E), ALL SEAMS AND FASTENER HEADS SEALED</p> <p>EPDM STRIP</p> <p>POLYOLEFIN WEATHER BARRIER, INSTALL PER MANUFACTURER'S REQUIREMENTS - HENRY VP 100 OR EQUIVALENT 1/2" PLYWOOD</p> <p>2x6 WOOD STUD FRAMING AND SPACING PER STRUCTURAL</p> <p>INTERIOR SPACE: 1/2" GWB MIN.</p> <p>VAPOR RETARDER PAINT / PRIMER</p>
W6E	INSULATED CONCRETE WALLS <p>EXTERIOR: CAST IN PLACE CONCRETE WALL, THICKNESS AND REINFORCING PER STRUCTURAL DRAWINGS</p> <p>2" RIGID INSULATION (R-10)</p> <p>1/2" AIR GAP</p> <p>2x4 WOOD STUD FRAMING SPACING PER STRUCTURAL</p> <p>BATT INSULATION (R-11)</p> <p>INTERIOR: 1/2" GWB MIN.</p> <p>VAPOR RETARDER PAINT / PRIMER</p>

MARK	WALL ASSEMBLY COMPONENTS
W7E	INSULATED CONCRETE WALLS <p>EXTERIOR: CAST IN PLACE CONCRETE WALL, THICKNESS AND REINFORCING PER STRUCTURAL DRAWINGS</p> <p>2" RIGID INSULATION (R-10)</p> <p>1/2" AIR GAP</p> <p>2x6 WOOD STUD FRAMING SPACING PER STRUCTURAL</p> <p>BATT INSULATION (R-11)</p> <p>1/2" GWB MIN.</p> <p>INTERIOR: VAPOR RETARDER PAINT / PRIMER</p>
W8E	EXTERIOR WALL - GARAGE INTERIOR WALL-2X6 <p>GERAGE SIDE: 5/8" TYPE "X" GWB</p> <p>WEATHER RESISTIVE BARRIER</p> <p>R-21 THERMAL FIBERGLASS BATT INSULATION</p> <p>P.T. FIRE RETARDANT 2x6 WOOD STUD FRAMING AND SPACING PER STRUCTURAL</p> <p>1/2" GWB MIN.</p> <p>INTERIOR SPACE: VAPOR RETARDER PAINT / PRIMER</p>
W9E	PARAPET WALL - TRESPA METEON PANEL <p>TRESPA PANEL SIDING(MATCH WITH W3E), ALL SEAMS AND FASTENER HEADS SEALED</p> <p>1/2" PLYWOOD</p> <p>2x6 WOOD STUD FRAMING AND SPACING PER STRUCTURAL</p> <p>1/2" PLYWOOD</p> <p>FIBER CEMENT PANEL SIDING(MATCH WITH W3E), ALL SEAMS AND FASTENER HEADS SEALED</p>
W1	INTERIOR WALL - TYPICAL - 2x4 <p>1/2" GWB (1 1/4" TYPE W DRYWALL SCREWS 12" OC)</p> <p>3" MIN GLASS FIBER ACCOUST. INSUL.</p> <p>2x4 WOOD STUD FRAMING @ SPACING PER STRUCTURAL (16" OC MAX)</p> <p>1/2" PLYWOOD FOR SHEARWALL</p> <p>1/2" GWB (1 1/4" TYPE W DRYWALL SCREWS 12" OC)</p>
W2	INTERIOR FURRING WALL - TYPICAL - 2x4 <p>1/2" AIR GAP</p> <p>R-21 THERMAL FIBERGLASS BATT INSULATION</p> <p>2x4 WOOD STUD FRAMING SPACING PER STRUCTURAL</p> <p>1/2" GWB MIN.</p> <p>VAPOR RETARDER PAINT/ PRIMER</p>
W3	INTERIOR UNIT PARTY WALL - DBL STUD-2X4 <p>NOT SHOWN: CONTINUOUS BEAD OF ACOUSTIC SEALANT AT PERIMETER OF WALL MEMBRANE WHERE PLANE MEETS ADJACENT WALL, CEILING, OR FLOOR</p> <p>BEDROOM: (2) LAYERS 1/2" GWB (1 1/4" TYPE W DRYWALL SCREWS 12" OC)</p> <p>1/2" GAP</p> <p>3" MIN. R21 UNFACED GLASS FIBER SOUND ATTENUATION BATT AT ALL CAVITIES</p> <p>MASTER BEDROOM: (2) LAYERS 1/2" GWB (1 1/4" TYPE W DRYWALL SCREWS 12" OC)</p> <p>2x4 WOOD STUD FRAMING @ SPACING PER STRUCTURAL (16" OC MAX)</p>

MARK	WALL ASSEMBLY COMPONENTS
W4	INTERIOR WALL - TYPICAL - 2x6 <p>1/2" GWB (1 1/4" TYPE W DRYWALL SCREWS 12" OC)</p> <p>3" MIN GLASS FIBER ACCOUST. INSUL.</p> <p>2x6 WOOD STUD FRAMING @ SPACING PER STRUCTURAL (16" OC MAX)</p> <p>1/2" GWB (1 1/4" TYPE W DRYWALL SCREWS 12" OC)</p>
W5	INTERIOR WALL - DBL STUD-2X4 <p>1/2" GWB MIN.</p> <p>2 1/2" GAP</p> <p>3" MIN GLASS FIBER ACCOUST. INSUL.</p> <p>1/2" GWB MIN.</p> <p>2x4 WOOD STUD FRAMING @ SPACING PER STRUCTURAL (16" OC MAX)</p>
W6	INTERIOR FURRING WALL - 2X4 <p>1/2" P.T. FIRE RETARDANT PLYWOOD PANEL SIZE 48" WIDE X 96" LONG AND 15/32" THICK.</p> <p>2x4 WOOD STUD FRAMING @ SPACING PER STRUCTURAL (16" OC MAX)</p>

NOTES:

1. ALL INSULATION SHALL HAVE MAXIMUM FLAME SPREAD INDEX OF 25 AND MAXIMUM SMOKE DEVELOPED INDEX OF 450 IN ACCORDANCE WITH 1BC 719.2.
2. PROVIDE NON-PAPER FACED, MOLD & MILDREW RESISTANT GYPSUM WALL BOARD AT ALL MOISTURE AND DAMPNESS PRONE AREAS.
3. PROVIDE TILE BACKER BOARD (NOT GREENBOARD) AT ALL TILE CONDITIONS.
4. REFER TO STRUCTURAL PLANS FOR STUD SIZE AND SPACING.
5. SEPARATE BACK TO BACK ELECTRICAL OR OTHER UTILITY BOXES BY AT LEAST ONE STUD BAY IN SINGLE STUD WALLS ANT TWO STUD BAYS IN STAGGERED STUD OR DOUBLE STUD WALL ASSEMBLIES.
6. STAGGER ALL JOINTS WHENEVER TWO OR MORE LAYERS OF GWB ARE SCHEDULED.
7. SECURE BATT INSULATION TO THE STRUCTURE AS REQUIRED TO PREVENT SAGGING OR DISPLACEMENT.
8. CONFORM STRICTLY TO TESTING AGENCY ASSEMBLY DESIGNATION REQUIREMENTS NOTED FOR ALL RATED WALL TYPES.
9. ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED, SPACKLED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHERE REQUIRED. ALL SURFACES SHALL BE ALIGNED.
10. PROVIDE SOLID WOOD BLOCKING BEHIND ALL FIXTURES AND ACCESSORIES - TYPICAL, U.O.N.
11. REFER TO SHEET AB.0 FOR WEATHER RESISTANT BARRIER SPECIFICATION AND REQUIREMENTS.

PROJECT
PAEK RESIDENCE

ADDRESS
2215 80th Ave SE
Mercer Island, WA 98040

CLIENT
Timothy & Elen Paek

No.	Description	Date
REVISIONS		
DRAWING STATUS		

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

400 108th Ave NE
Suite 108
Bellevue WA 98004

425.559.7888
contact@mzaus.com

STAMP
REGISTERED ARCHITECT
Ming Zhang
STATE OF WASHINGTON

DRAWING TITLE
WALL TYPES

DRAWN Author	DESIGNED Designer
-----------------	----------------------

DATE
08/16/19

GRAPHIC SCALE
1" = 1'-0"

PROJECT NO.
18-009

DRAWING NO. A7.1	REVISION NO.
---------------------	--------------

MARK	FLOOR/CEILING ASSEMBLY COMPONENTS
F1	<p>SLAB ON GRADE-BASEMENT AND GARAGE FLOOR</p> <p>4" MIN. C.I.P. CONCRETE SLAB ON GRADE, REINFORCING & THICKNESS PER STRUCT. 2" SAND BED 10 MIL. MINIMUM THICKNESS POLY SHEETING VAPOR/MOISTURE BARRIER 4" THICK CRUSHED ROCK BASE COMPACTED SUBGRADE OR ENGINEERED BACKFILL</p> <p>NOTE: VERIFY SLAB & SUBGRADE DESIGN WITH STRUCTURAL & GEOTECHNICAL RECOMMENDATIONS PRIOR TO INSTALLATION</p>
F2	<p>TYPICAL FLOOR - ENTRY AND UPPER FLOOR</p> <p>FLOORING PER PLANS FLOOR SHEATHING - TYPE, THICKNESS, AND FASTENING PER STRUCTURAL WOOD JOIST, SIZE AND SPACING PER STRUCTURAL OPTIONAL R-19 SOUND ATTENUATION BATT INSULATION FOR INCREASED ACOUSTIC PERFORMANCE. GWB CEILING PER PLAN</p> <p>NOT SHOWN: CONTINUOUS BEAD OF ACOUSTIC SEALANT AT PERIMETER OF WALL MEMBRANE WHERE PLANE MEETS ADJACENT WALLS</p>

MARK	ROOF/CEILING ASSEMBLY COMPONENTS
R1	<p>TYPICAL ROOF</p> <p>ROOFING MEMBRANE PER PLAN TAPERED INSULATION SLOPED PER PLAN 1" MIN. ROOF SHEATHING PER STRUCTURAL 2" SPRAY FOAM INSULATION (R-9) R-30 FIBERGLASS INSULATION (BATT OR BLOWN-IN) TJI PER STRUCTURAL AT 24" O.C. PVC PRIMER (1) LAYERS 1/2" GYPSUM W DRYWALL SCREWS 24" OC.</p> <p>NOTE: Joints shall have L-rating measured at .30" of water in both ambient temperature and elevated temperature tests, and shall not exceed 1 & 2 per IBC714.5</p>
R2	<p>FLAT ROOF/DECK @ UPPER LEVEL- 2x WOOD RAFTERS</p> <p>PAVERS ON PEDESTALS ROOFING MEMBRANE PER PLAN TAPERED INSULATION SLOPED PER PLAN 1" MIN. ROOF SHEATHING PER STRUCTURAL APPLIED AT RT ANGLES TO TRUSSES W/ 8d NAILS 2" SPRAY FOAM INSULATION (R-9) R-30 FIBERGLASS INSULATION (BATT OR BLOWN-IN) 2x ROOF JOISTS PER STRUCTURAL PVC PRIMER (1) LAYER 5/8" GYPSUM WALLBOARD DRYWALL SCREWS 12" OC.</p>
R3	<p>FLAT ROOF @ GARAGE- TJI</p> <p>ROOFING MEMBRANE PER PLAN TAPERED INSULATION SLOPED PER PLAN 1" MIN. ROOF SHEATHING PER STRUCTURAL APPLIED AT RT ANGLES TO TRUSSES W/ 8d NAILS ROOF TJI PER STRUCTURAL PVC PRIMER (1) LAYER TYPE "X" 5/8" GWB</p>

PROJECT
PAEK RESIDENCE

ADDRESS
 2215 80th Ave SE
 Mercer Island, WA 98040

CLIENT
 Timothy & Elen Paek

No.	Description	Date
REVISIONS		

DRAWING STATUS

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. ALL DIMENSIONS ARE SHOWN IN IMPERIAL.



STAMP

DRAWING TITLE FLOOR & ROOF/CEILING TYPES	
DRAWN Author	DESIGNED Designer
DATE 08/16/19	
GRAPHIC SCALE 1" = 1'-0"	
PROJECT NO. 18-009	
DRAWING NO. A7.2	REVISION NO.



8/6/19

DRAWN: SJB
 DESIGN: RJA
 CHECKED: RJA
 APPROVED: ABB

REVISIONS:
 1 Permit Response Aug. 6, 2019

DPD:

PROJECT TITLE:

Paek Residence
 2215 80th Ave SE
 Mercer Island, WA 98040

ARCHITECT:
 MZA Architecture
 600 108th Ave NE, Suite 108
 Bellevue, WA 98004
 PH 425.559.7888

ISSUE:

Permit

SHEET TITLE:

Basement
 Foundation
 Plan

SCALE:

1/4" = 1'-0" U.N.O.

DATE:

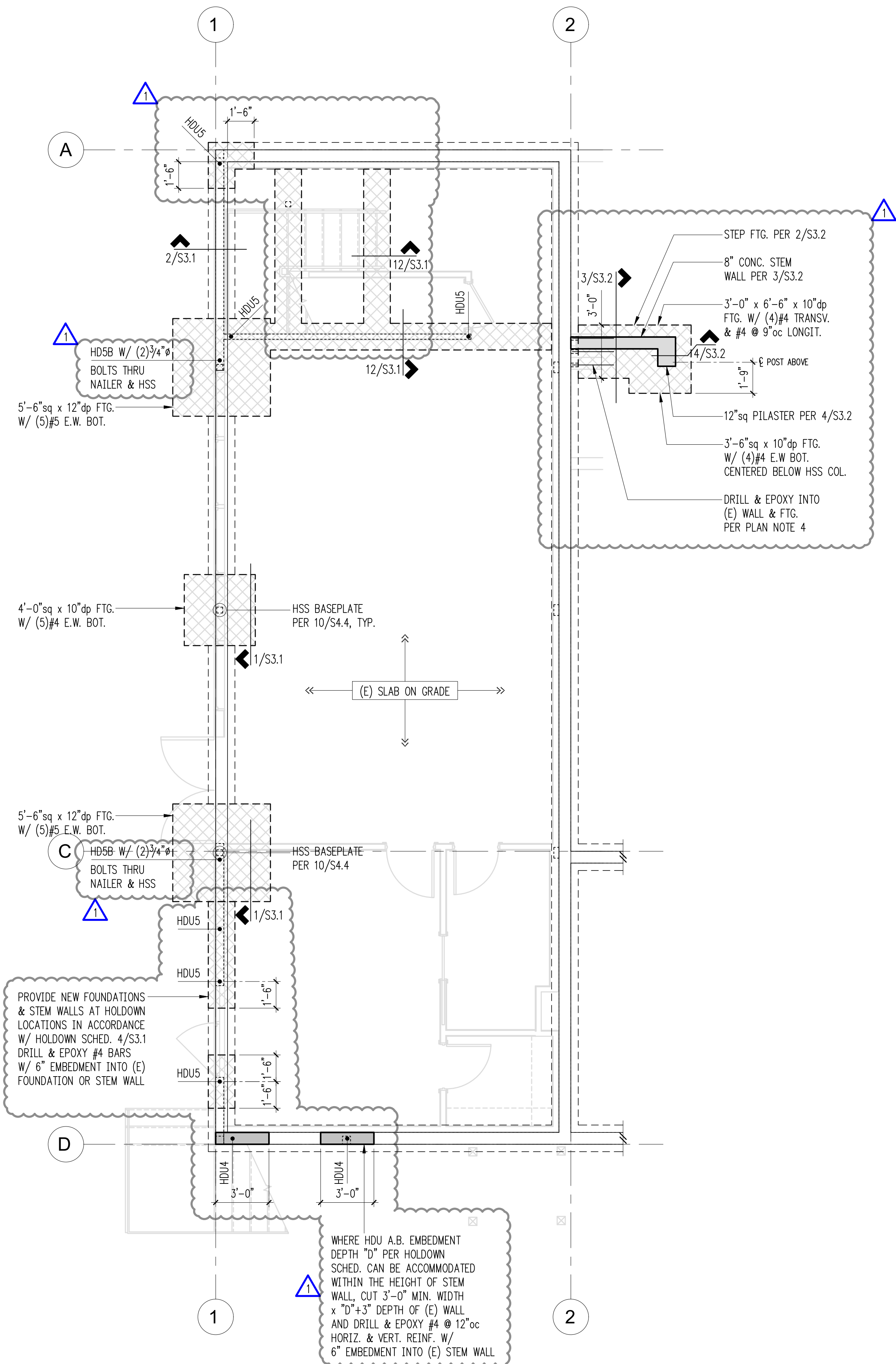
Sept. 4, 2018

PROJECT NO:

10604-2018-01-00

SHEET NO:

S2.1



Legend

- - - - - EXISTING FOOTING BELOW
- ▨ NEW FOOTING BELOW
- ▤ STRUCTURAL WALL OR POST ABOVE
- XX HOLD-DOWN PER 4/S3.1

Plan Notes

1. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
2. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW GRADE.
3. PROVIDE CORNER BARS PER DETAIL 1/S3.1 AT ALL WALL AND FOOTING INTERSECTIONS.
4. PROVIDE EPOXY GROUTED #4 x 2'-4" DOWELS EMBEDDED A MINIMUM OF 4" INTO EXISTING CONCRETE TO MATCH NEW HORIZONTAL AND LONGITUDINAL REINFORCING. TYPICAL WHERE NEW CONCRETE WALL OR FOOTING TERMINATES AT EXISTING CONCRETE. EPOXY GROUT PER GENERAL STRUCTURAL NOTES.
5. ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS FULL BEARING THROUGH FLOORS TO THE FOUNDATION.
6. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

Basement Foundation Plan

Scale: 1/4" = 1'-0"





8/6/19
 DRAWN: SJB
 DESIGN: RJA
 CHECKED: RJA
 APPROVED: ABB

REVISIONS:
 1 Permit Response Aug. 6, 2019

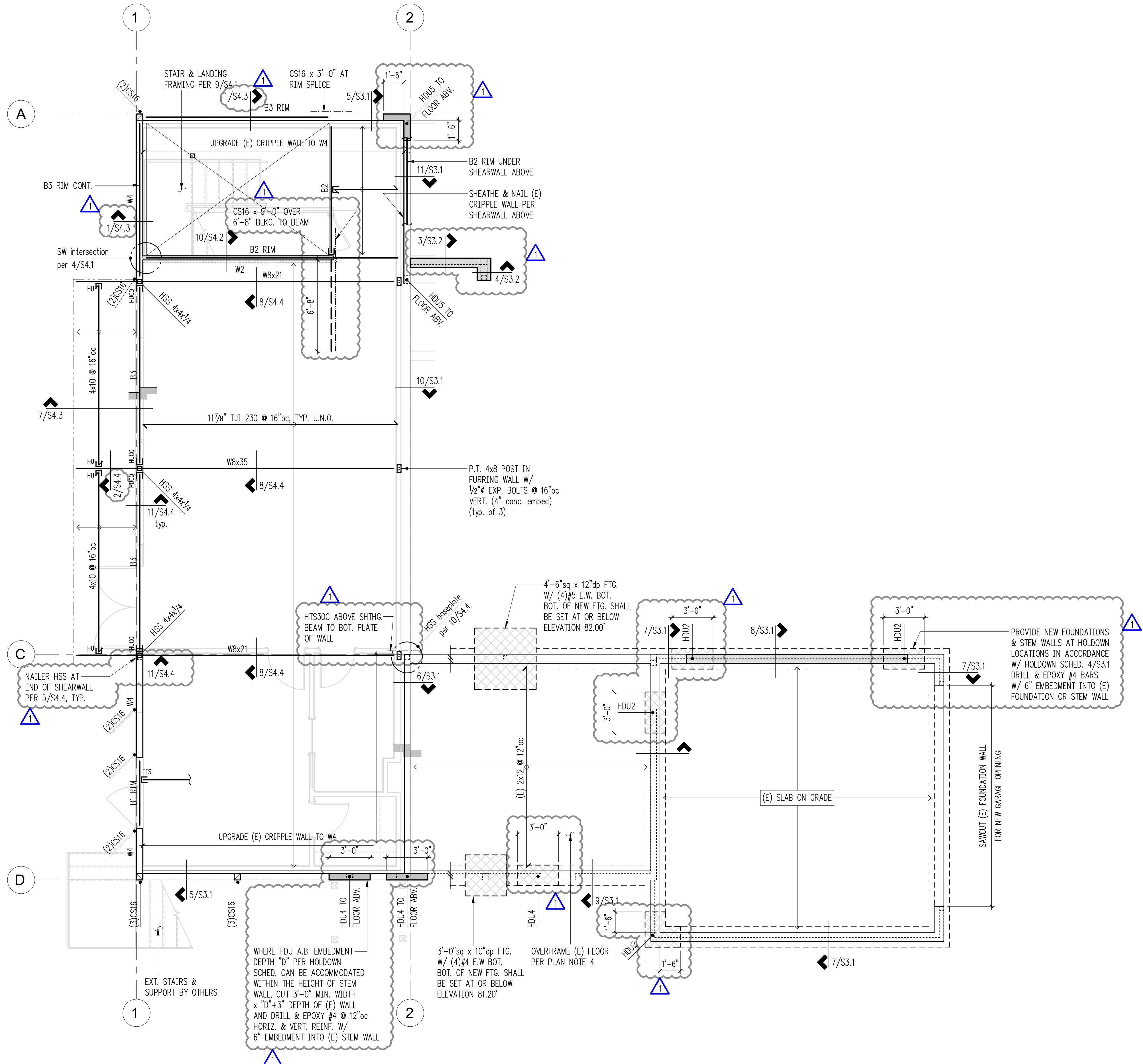
PROJECT TITLE:
Paek Residence
 2215 80th Ave SE
 Mercer Island, WA 98040

ARCHITECT:
MZA Architecture
 600 108th Ave NE, Suite 108
 Bellevue, WA 98004
 PH 425.559.7888

ISSUE:
Permit

SHEET TITLE:
Main Floor Framing & Crawl Space Foundation Plan
 SCALE: 1/4" = 1'-0" U.N.O.
 DATE: Sept. 4, 2018
 PROJECT NO: 10604-2018-01-00
 SHEET NO:

S2.2



Beam Schedule

MARK	BEAM	BRG. STUDS	HANGER
B1	LSL 1 3/4x11/8	2	HU11
B2	LSL 3/2x11/8	3	HHUS410
B3	PSL 5/4x11/8	4	HHUS5.50/10

- Legend**
- STRUCTURAL WALL BELOW
 - NON-STRUCTURAL WALL BELOW
 - STRUCTURAL WALL OR POST ABOVE
 - SHEARWALL PER 12/S4.1
 - SPAN DIRECTION
 - EXTENT OF JOISTS
 - HEADER/BEAM PER PLAN
 - HANGER
 - CHANGE IN SHEATHING ELEVATION
 - HDU HOLD-DOWN PER 4/S3.1
 - HOLD-DOWN STRAP PER 5/S4.1
 - EXISTING FOOTING BELOW
 - NEW FOOTING BELOW
 - NEW STEM WALL BELOW

- Plan Notes**
- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
 - THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW GRADE.
 - NEW FLOOR AND ACCESSIBLE DECK SHEATHING SHALL BE 3/4" A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 48/24). NAIL AT ALL FRAMED PANEL EDGES WITH 8d AT 6"oc AND TO ALL INTERMEDIATE FRAMING (FIELD) AT 12"oc.
 - NEW FLOOR JOISTS SHALL BE 11-7/8" TJI 230 @ 16"oc. OVER-FRAME EXISTING 2x12 JOISTS WITH 5/8" PLYWOOD TO MATCH NEW AND EXISTING FLOOR LEVELS.
 - HEADERS OVER DOOR AND WINDOW OPENINGS SHALL BE FRAMED WITH FLUSH LSL 1-3/4 X 11-7/8 RIM. DO NOT SPLICE RIM OVER OPENING. HANG JOISTS FROM RIM OVER OPENINGS WITH ITS SERIES HANGERS. PROVIDE (2) TRIMMER STUDS (MINIMUM) AT EACH END OF ALL RIMS UNLESS NOTED OTHERWISE ON PLANS.
 - PROVIDE (2) STUDS (MINIMUM) AT EACH END OF ALL BEAMS UNLESS NOTED OTHERWISE ON PLANS. BEAR BEAM FULLY ON BUILT UP COLUMN AND PROVIDE AC, PC, OR LPC CAP.
 - W# INDICATES SHEAR WALL. SEE SHEARWALL SCHEDULE, 12/S4.1, FOR CONSTRUCTION REQUIREMENTS. ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE ON PLANS.
 - (X)CS16 INDICATES VERTICAL HOLD-DOWN STRAP AT END OF SHEAR WALL ABOVE. (X) INDICATES STRAP QUANTITY. SEE DETAIL 5/S4.1 FOR INSTALLATION REQUIREMENTS.
 - HDUx INDICATES VERTICAL HOLD-DOWN FROM POST ABOVE WITH A36 ALL-THREAD EPOXY GROUTED PER ANCHOR BOLT DIAMETER AND EMBED DEPTH IN HOLD-DOWN SCHEDULE.
 - MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.
 - ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS VERTICAL GRAIN BLOCKING TO MATCH POST ABOVE FOR FULL BEARING THROUGH FLOORS TO THE FOUNDATION.
 - SPLICE ALL TOP PLATE SPLICES PER DETAIL 10/S4.1.
 - REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.



DRAWN: SJB
 DESIGN: RJA
 CHECKED: RJA
 APPROVED: ABB

REVISIONS:
 1 Permit Response Aug. 6, 2019

DPD:

PROJECT TITLE:

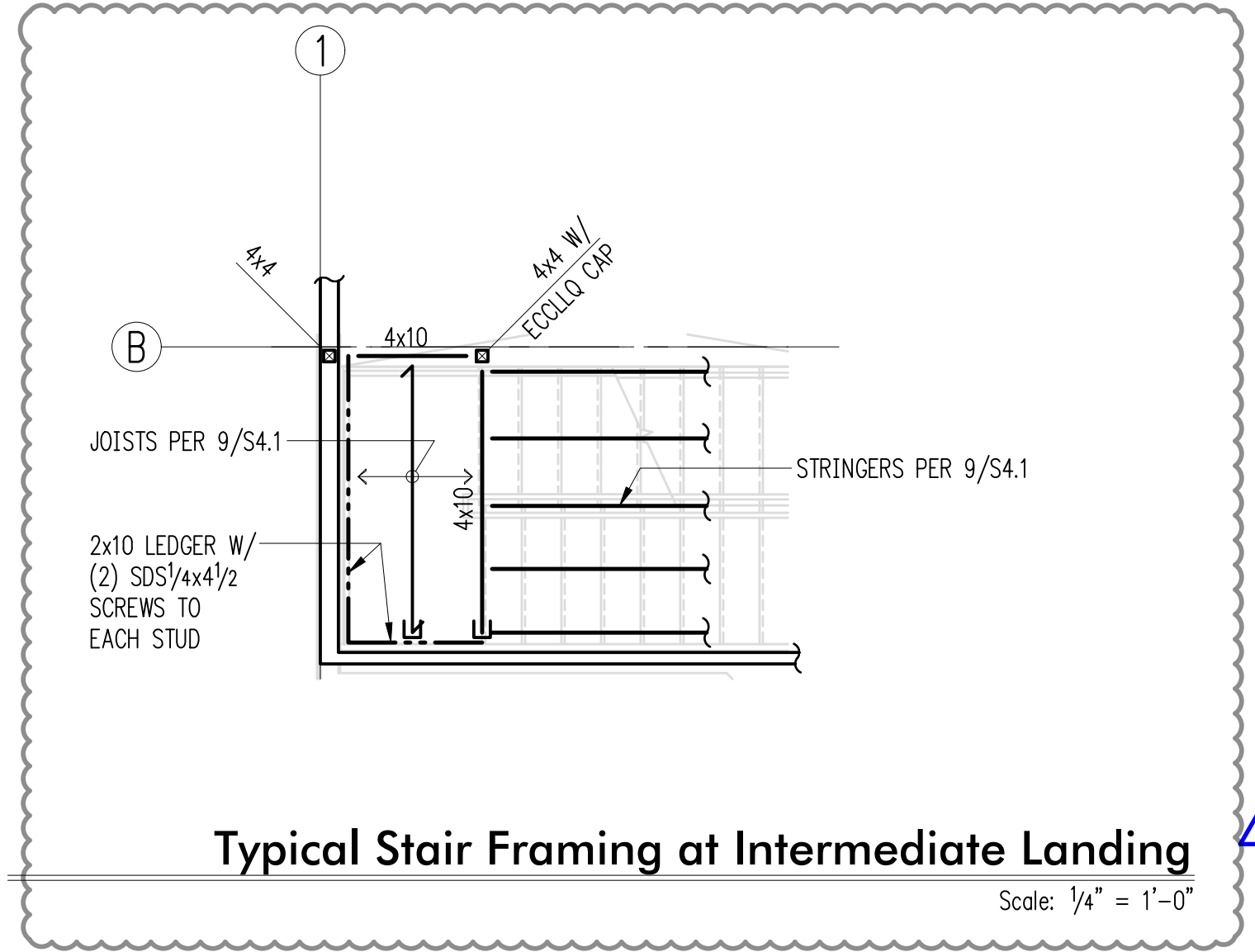
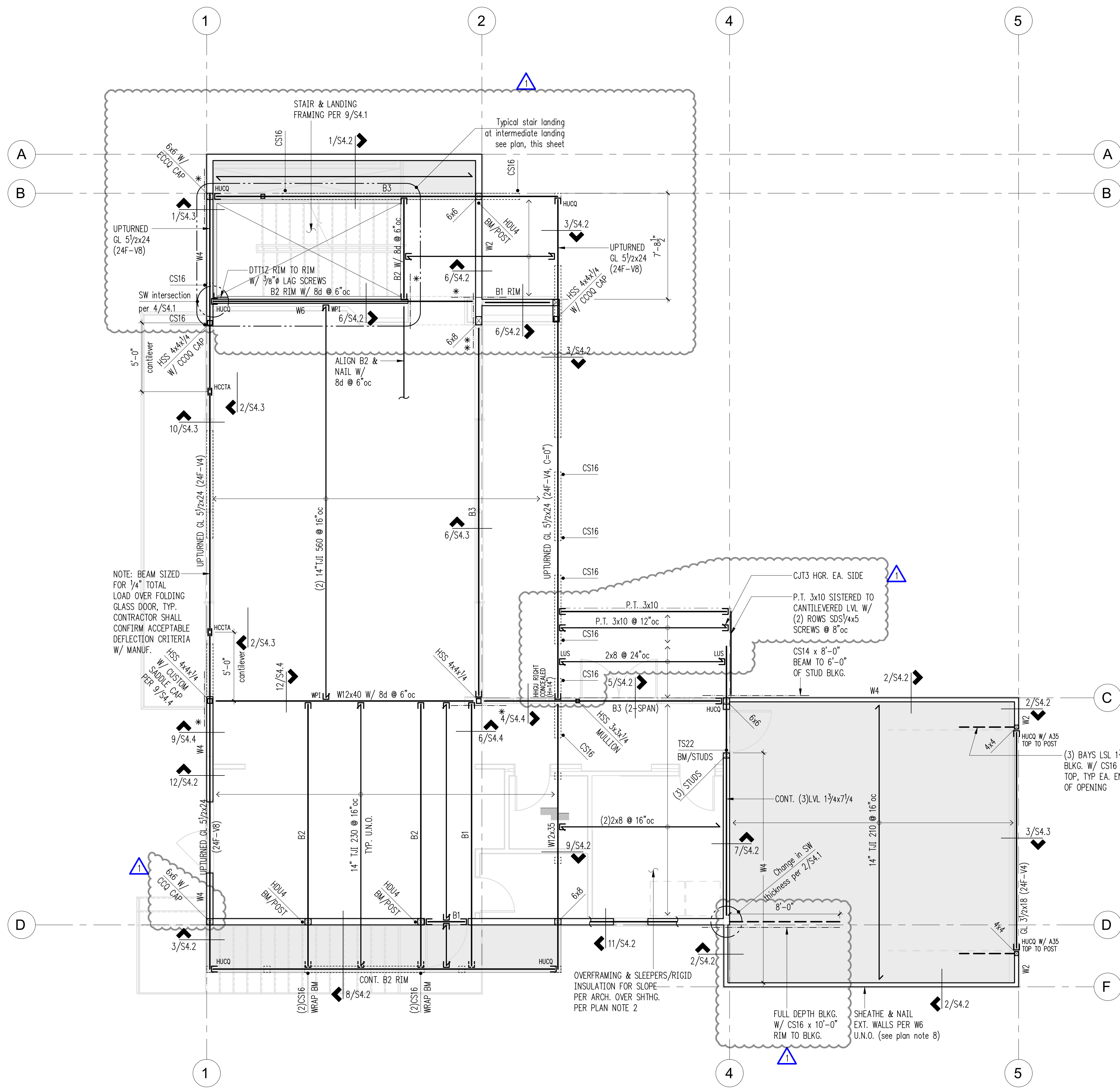
Paek Residence
 2215 80th Ave SE
 Mercer Island, WA 98040

ARCHITECT:
MZA Architecture
 600 108th Ave NE, Suite 108
 Bellevue, WA 98004
 PH 425.559.7888

ISSUE:
Permit

SHEET TITLE:
Upper Floor Framing Plan

SCALE: 1/4" = 1'-0" U.N.O.
 DATE: Sept. 4, 2018
 PROJECT NO: 10604-2018-01-00
 SHEET NO:



Beam Schedule

MARK	BEAM	BRG. STUDS	HANGER
B1	LSL 1 3/4 x 14	2	HU14
B2	LSL 3 1/2 x 14	3	HHUS410
B3	PSL 5 1/4 x 14	4	HHUS5.50/10

- Legend**
- STRUCTURAL WALL BELOW
 - NON-STRUCTURAL WALL BELOW
 - STRUCTURAL WALL OR POST ABOVE
 - Wx SHEARWALL PER 12/S4.1
 - SPAN DIRECTION
 - EXTENT OF JOISTS
 - HEADER/BEAM PER PLAN
 - HANGER (INVERTED)
 - CHANGE IN ELEVATION
 - (X)CS16 HOLDOWN PER 5/S4.1
 - CS16 x 4'-0" FRAMING MEMBER TO NO. OF ASTERISKS = NO. OF STUDS
 - BLOCKED DIAPHRAGM PER PLAN NOTE 4

- Plan Notes**
- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
 - FLOOR AND ACCESSIBLE ROOF DECK SHEATHING SHALL BE 3/4" A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 48/24). NAIL AT ALL FRAMED PANEL EDGES WITH 8d @ 6" oc AND TO ALL INTERMEDIATE FRAMING (FIELD) AT 12" oc.
 - LOW ROOF SHEATHING SHALL BE 1/2" A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 32/16). FACE GRAIN PERPENDICULAR TO SUPPORTS OVER ROOF FRAMING PER PLAN. NAIL SHEATHING AT ALL FRAMED PANEL EDGES WITH 8d @ 6" oc AND TO ALL INTERMEDIATE FRAMING AT 12" oc.
 - AREAS SHADED ON PLAN INDICATED BLOCKED FLOOR DIAPHRAGM. PROVIDE 2x4 FLAT BLOCKING AT ALL UNFRAMED PANEL EDGES. NAIL ALL PANEL EDGES TO FLAT BLOCKING, FRAMING MEMBERS OR BOUNDARY MEMBERS (RIMS, DRAG STRUTS) WITH 8d AT 4" oc AND TO ALL INTERMEDIATE FRAMING (FIELD) AT 12" oc.
 - FLOOR JOISTS SHALL BE 14" TJI 230 @ 16" oc.
 - HEADERS OVER DOOR AND WINDOW OPENINGS SHALL BE FRAMED WITH FLUSH LSL 1-3/4 X 11-7/8 RIM, MINIMUM. DO NOT SPLICE RIM OVER OPENING. HANG JOISTS FROM RIM OVER OPENINGS WITH ITS SERIES HANGERS. PROVIDE (2) TRIMMER STUDS (MINIMUM) AT EACH END OF ALL RIMS UNLESS NOTED OTHERWISE ON PLANS.
 - PROVIDE (2) STUDS (MINIMUM) AT EACH END OF ALL BEAMS UNLESS NOTED OTHERWISE ON PLANS. BEAR BEAM FULLY ON BUILT UP COLUMN AND PROVIDE AC, PC, OR LPC CAP.
 - W# INDICATES SHEAR WALL. SEE SHEARWALL SCHEDULE, 12/S4.1, FOR CONSTRUCTION REQUIREMENTS. ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE ON PLANS.
 - (X)CS16 INDICATES VERTICAL HOLDOWN STRAP AT END OF SHEAR WALL ABOVE. (X) INDICATES STRAP QUANTITY. SEE DETAIL 5/S4.1 FOR INSTALLATION REQUIREMENTS.
 - MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.
 - ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS VERTICAL GRAIN BLOCKING TO MATCH POST ABOVE FOR FULL BEARING THROUGH FLOORS TO THE FOUNDATION.
 - SPLICE ALL TOP PLATE SPLICES PER DETAIL 10/S4.1.
 - REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

Upper Floor Framing Plan
 Scale: 1/4" = 1'-0"



8/6/19

DRAWN: SJB
 DESIGN: RJA
 CHECKED: RJA
 APPROVED: ABB

REVISIONS:
 1 Permit Response Aug. 6, 2019

DPD:

PROJECT TITLE:

Paek Residence
 2215 80th Ave SE
 Mercer Island, WA 98040

ARCHITECT:
 MZA Architecture
 600 108th Ave NE, Suite 108
 Bellevue, WA 98004
 PH 425.559.7888

ISSUE:
 Permit

SHEET TITLE:

Roof Framing Plan

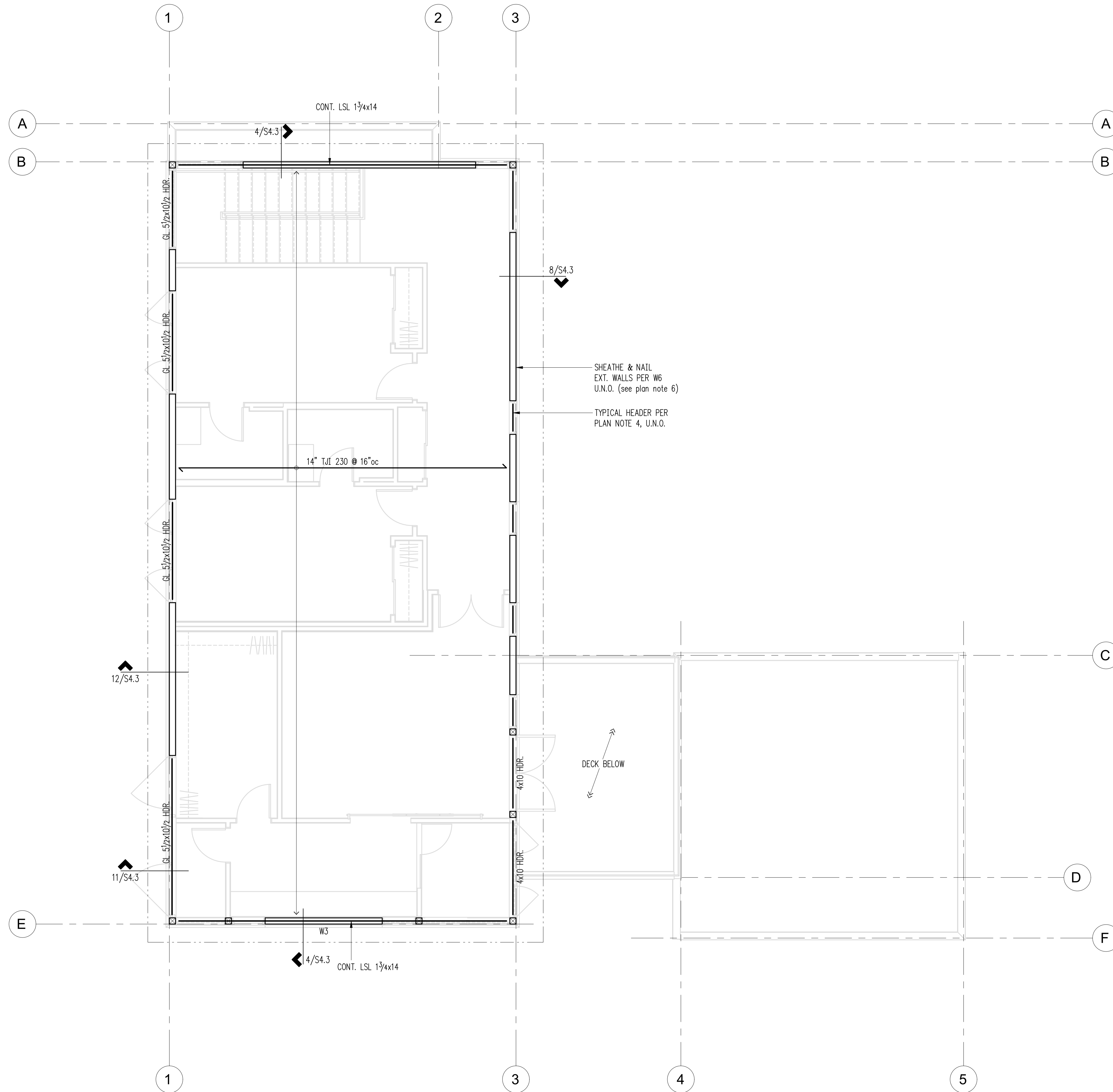
SCALE: 1/4" = 1'-0" U.N.O.

DATE: Sept. 4, 2018

PROJECT NO: 10604-2018-01-00

SHEET NO:

S2.4



Legend

- STRUCTURAL WALL BELOW
- NON-STRUCTURAL WALL BELOW
- SHEARWALL PER 12/S4.1
- SPAN DIRECTION
- EXTENT OF JOISTS
- HEADER/BEAM PER PLAN
- HANGER

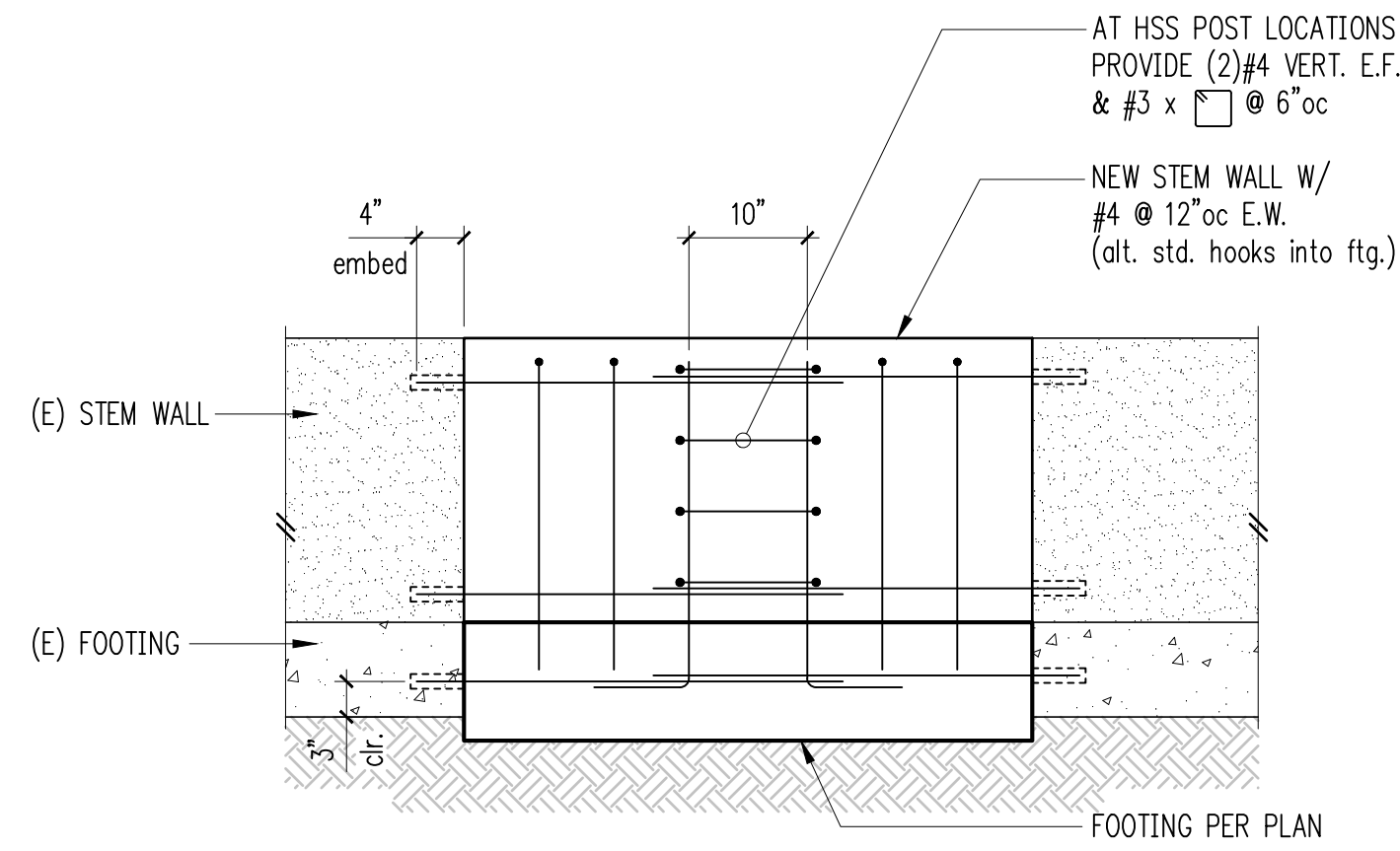
Plan Notes

1. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
2. ROOF SHEATHING SHALL BE 1/2" A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 32/16), FACE GRAIN PERPENDICULAR TO SUPPORTS OVER ROOF FRAMING PER PLAN. NAIL SHEATHING AT ALL FRAMED PANEL EDGES WITH 8d AT 6"oc AND TO ALL INTERMEDIATE FRAMING AT 12"oc.
3. ROOF FRAMING SHALL BE 14" TJI 230 @ 16"oc.
4. HEADERS OVER DOOR AND WINDOW OPENINGS SHALL BE (2) 2x10 MINIMUM. PROVIDE (2) TRIMMER STUDS (MINIMUM) AT EACH END OF ALL HEADERS UNLESS NOTED OTHERWISE ON PLANS. SEE DETAIL 6/S4.1 FOR TYPICAL INSTALLATION.
5. PROVIDE (2) STUDS (MINIMUM) AT EACH END OF ALL BEAMS UNLESS NOTED OTHERWISE ON PLANS. BEAR BEAM FULLY ON BUILT UP COLUMN AND PROVIDE AC, PC, OR LPC CAP.
6. W# INDICATES SHEAR WALL. SEE SHEARWALL SCHEDULE, 12/S4.1, FOR CONSTRUCTION REQUIREMENTS. ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE ON PLANS.
7. PROVIDE H2.5A HURRICANE TIE AT EACH TJI RAFTER WHERE IT BEARS ON EXTERIOR WALL.
8. MANUFACTURED LUMBER PRODUCTS (GL) SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.
9. SPLICE ALL TOP PLATE SPLICES PER DETAIL 10/S4.1.
10. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

Roof Framing Plan

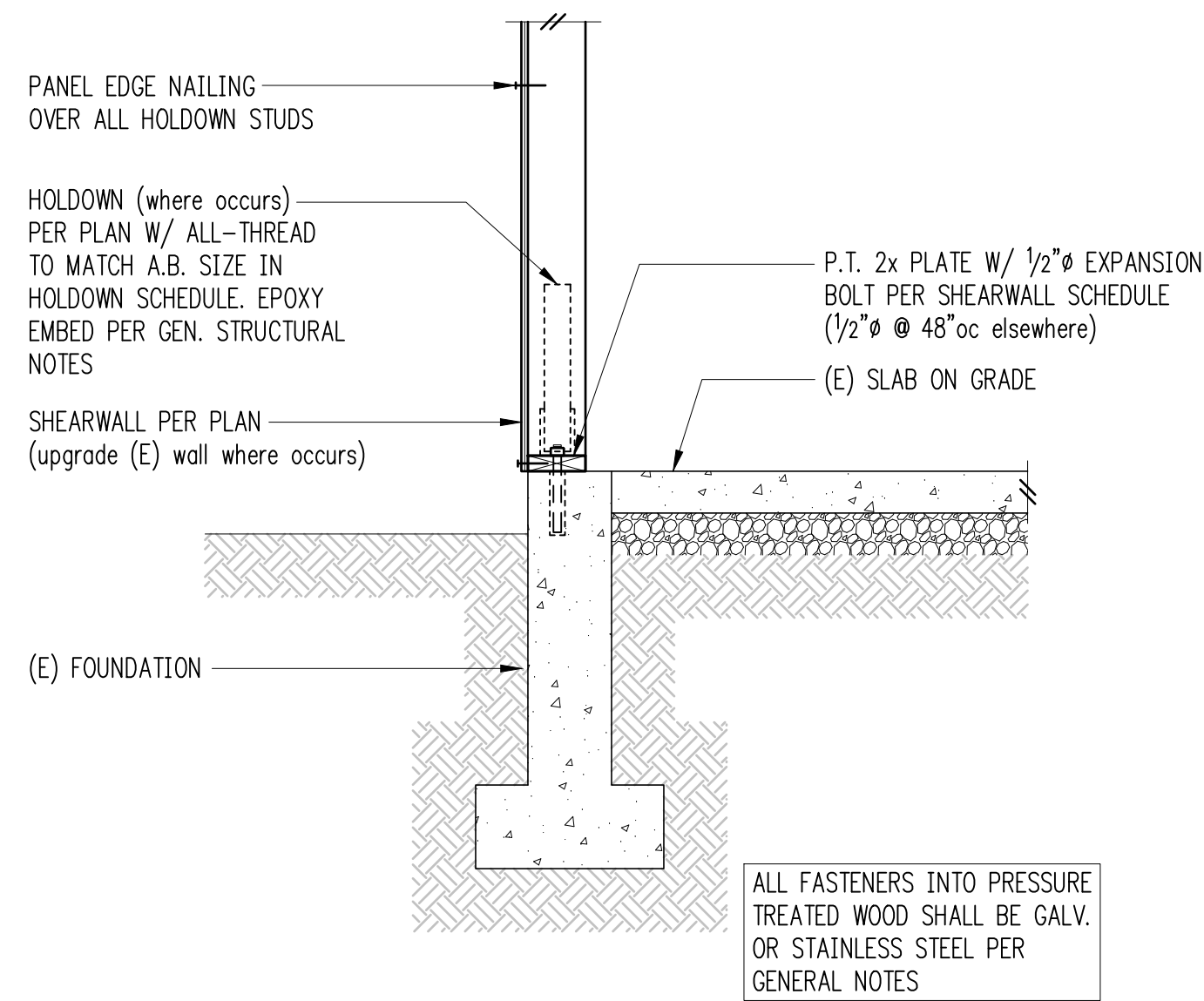
Scale: 1/4" = 1'-0"





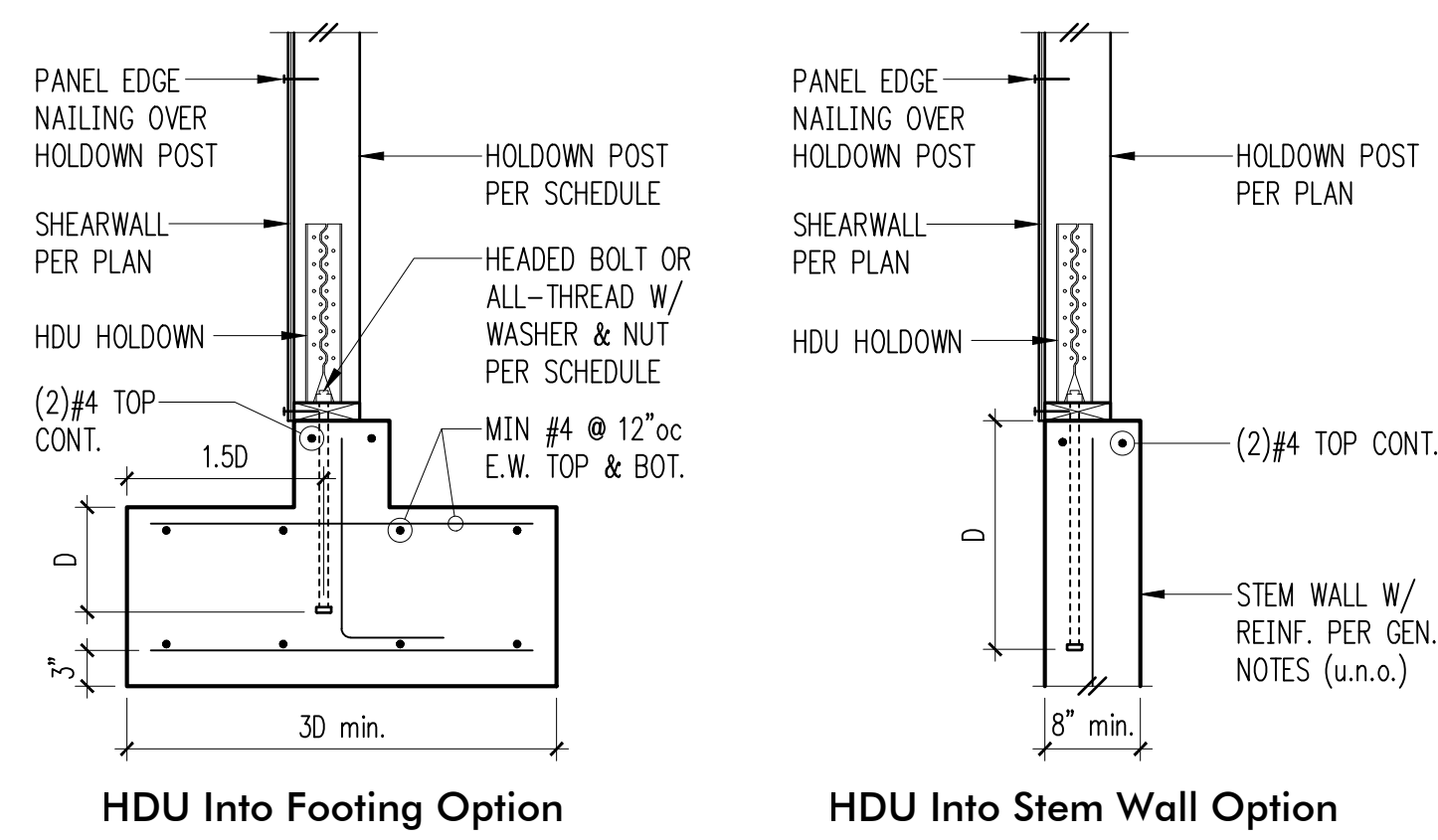
New to Existing Footings

1



Exterior Wall w/ Slab on Grade

2



HDU Into Footing Option

HDU Into Stem Wall Option

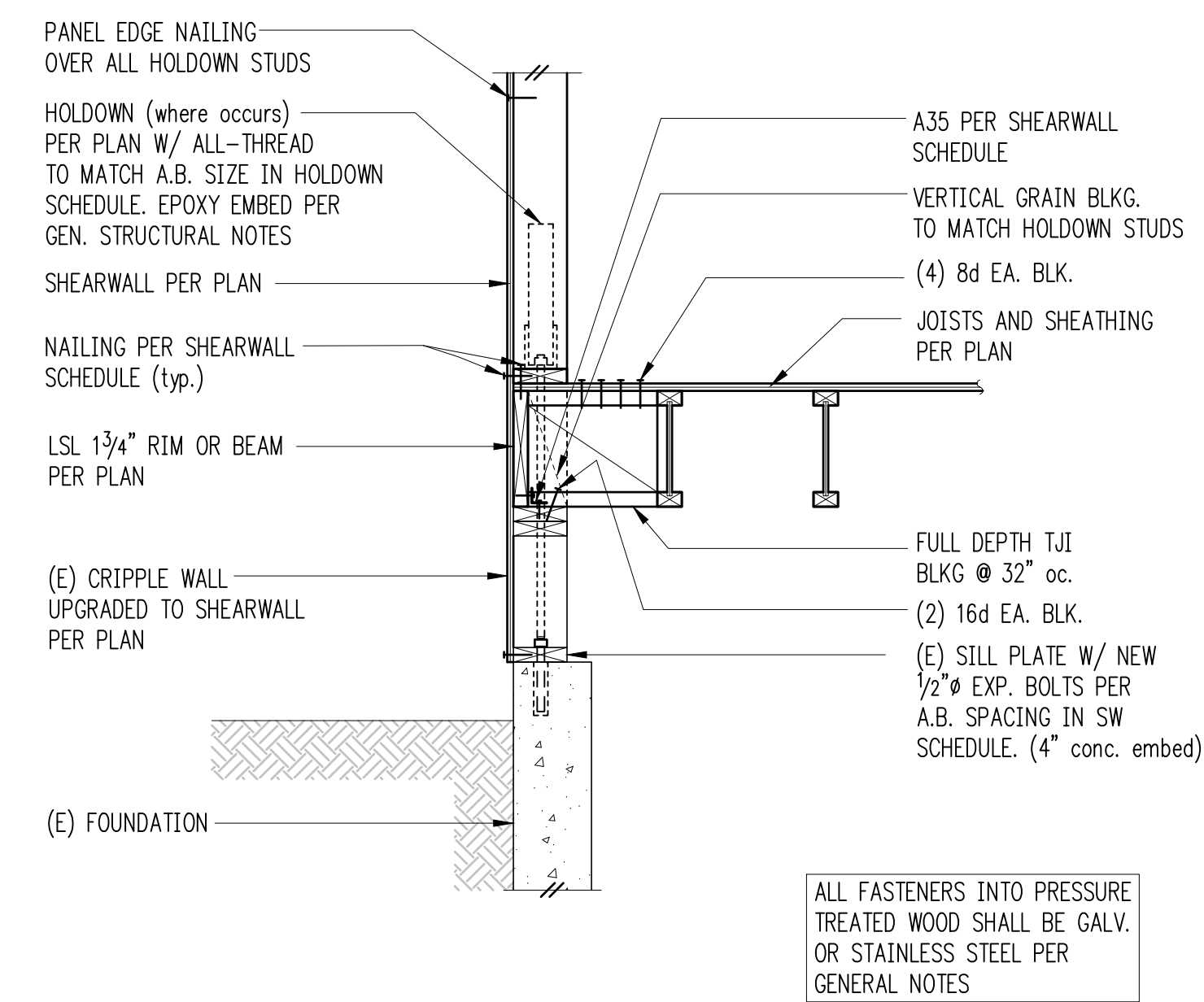
Holdown Schedule

Plan Mark	Screws	Anchor Bolt	Min. A.B. Embed (D)		Holdown Post ①	
			Stem Wall	Footing	if 2x4	if 2x6
HDU2-SDS2.5	(6)SDS 1/4"x2/2"	5/8"φ	12"	4"	(2) 2x4	(2) 2x6
HDU4-SDS2.5	(10)SDS 1/4"x2/2"	5/8"φ	18"	6"	4x4	4x6
HDU5-SDS2.5	(14)SDS 1/4"x2/2"	5/8"φ	SB7/8x24	7"	4x4	4x6
HDU8-SDS2.5	(20)SDS 1/4"x2/2"	7/8"φ	SSTB28	8"	4x6	6x6
HDU11-SDS2.5	(30)SDS 1/4"x2/2"	1"φ	SB1x30	10"	4x8	6x6
HDU14-SDS2.5	(36)SDS 1/4"x2/2"	1"φ	N/A	12"	4x8	6x6

① MINIMUM SIZE OF POST AT END OF WALL UNLESS OTHERWISE NOTED ON FRAMING PLANS.

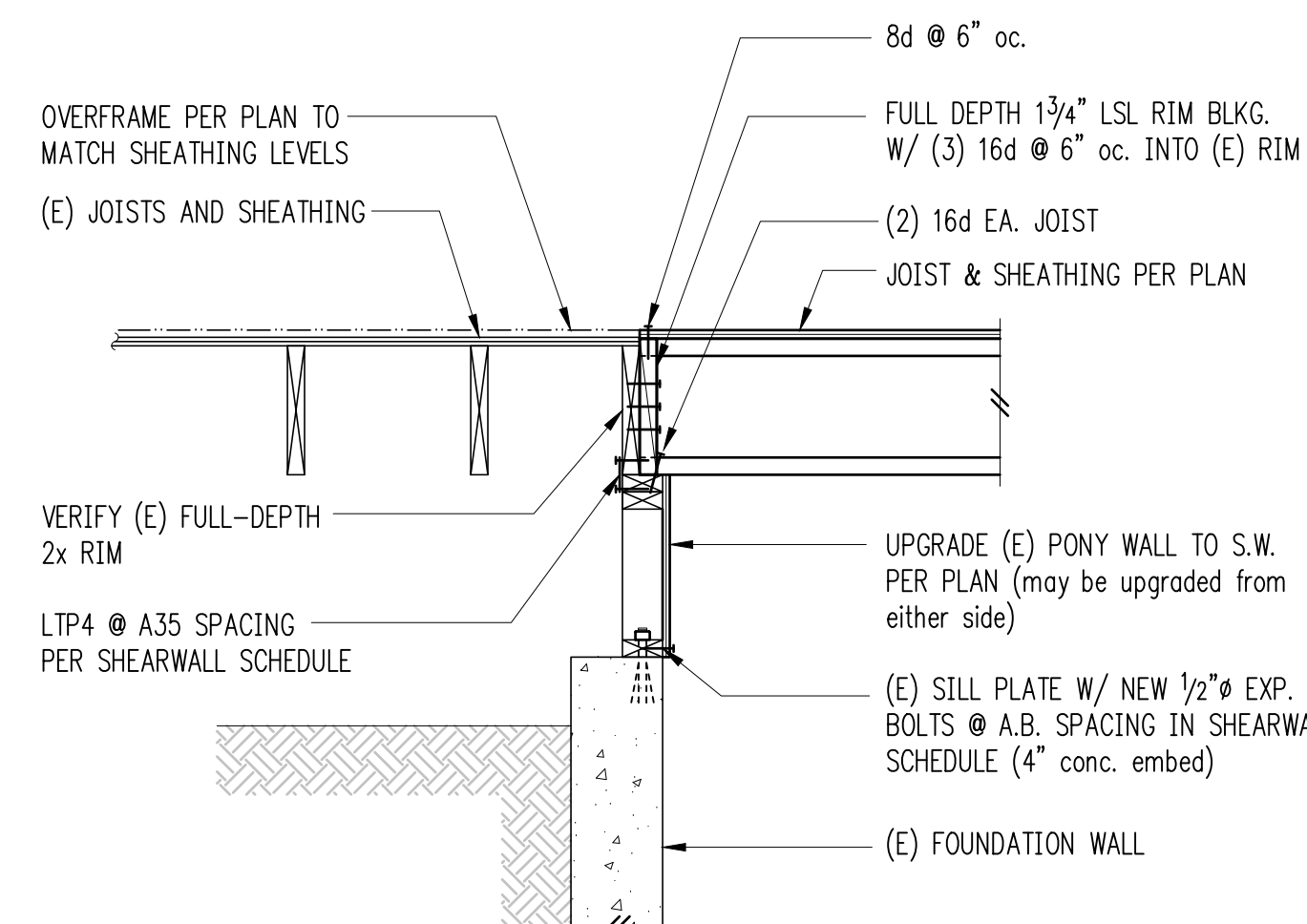
Typical HDU Holdown

4



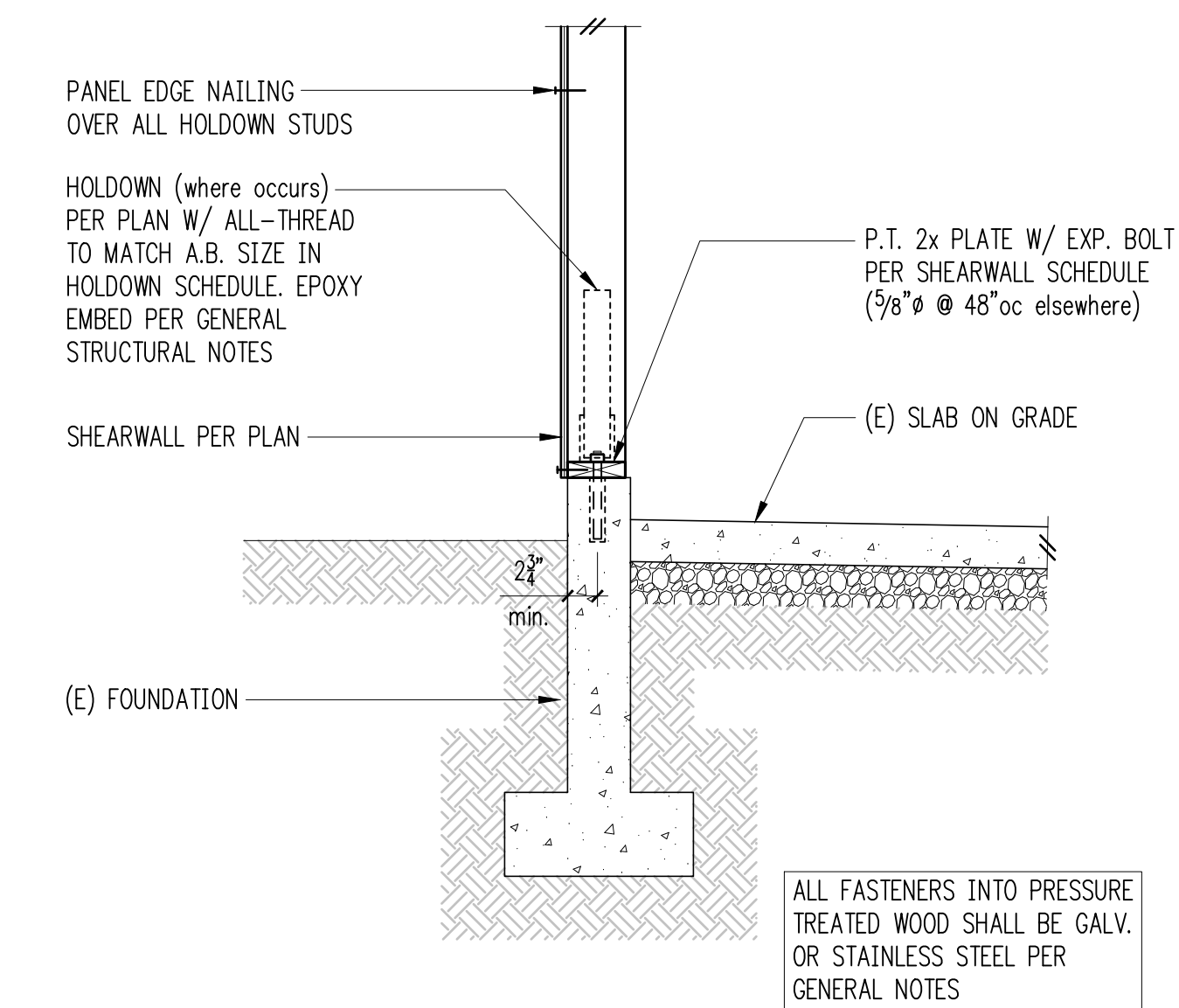
Exterior Framing at Basement w/ Cripple Wall

5



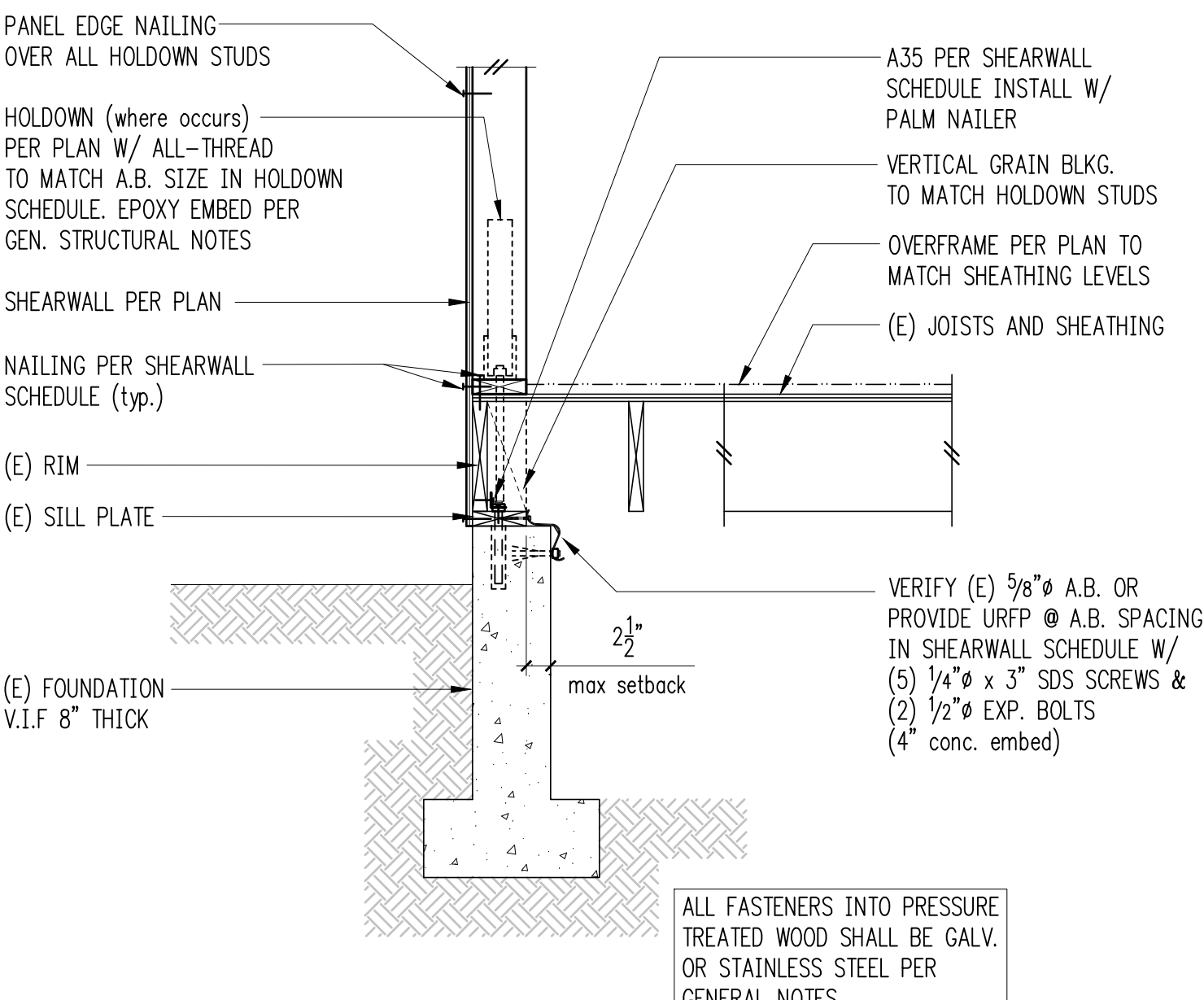
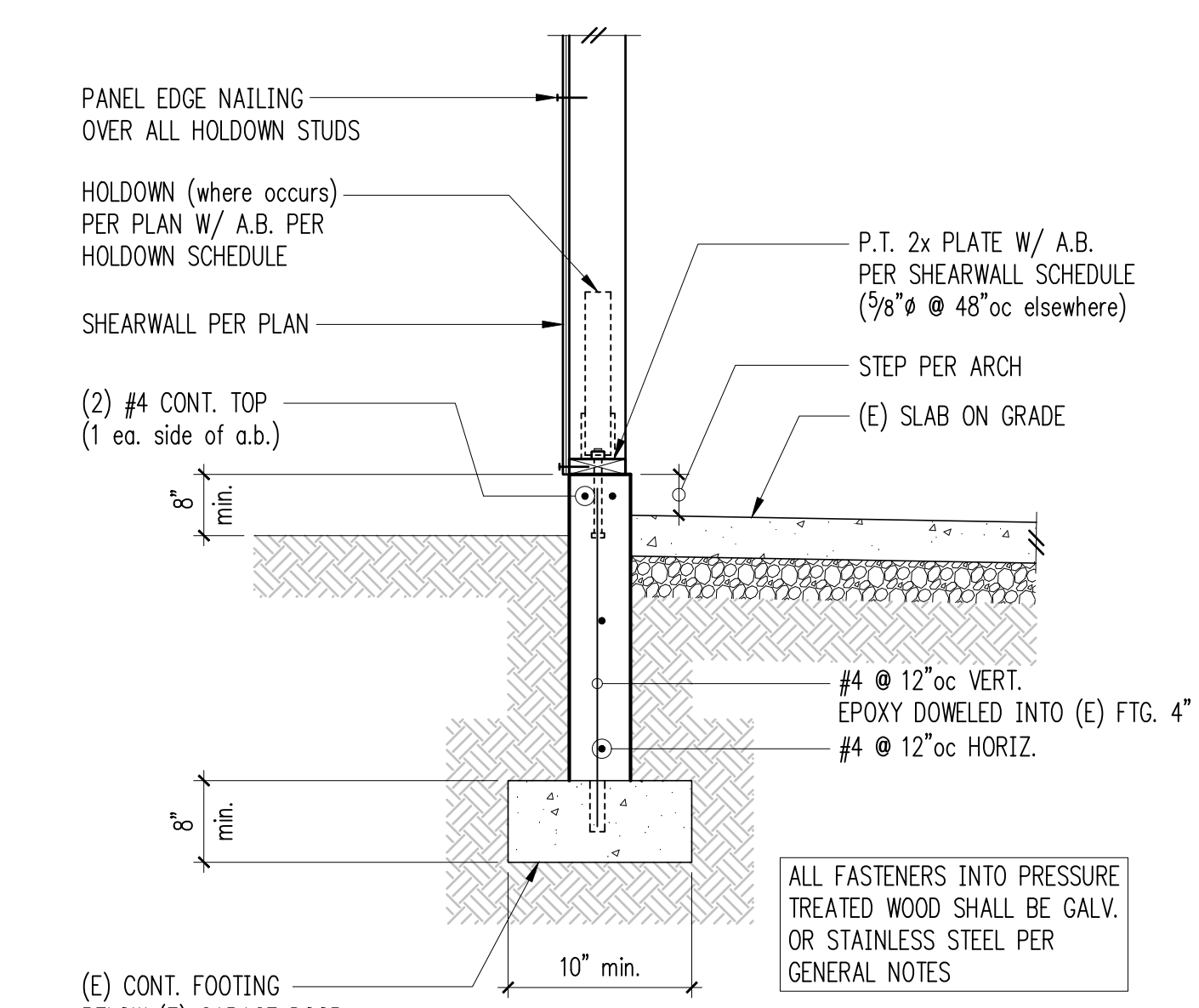
6" Garage Wall w/ Slab on Grade

7



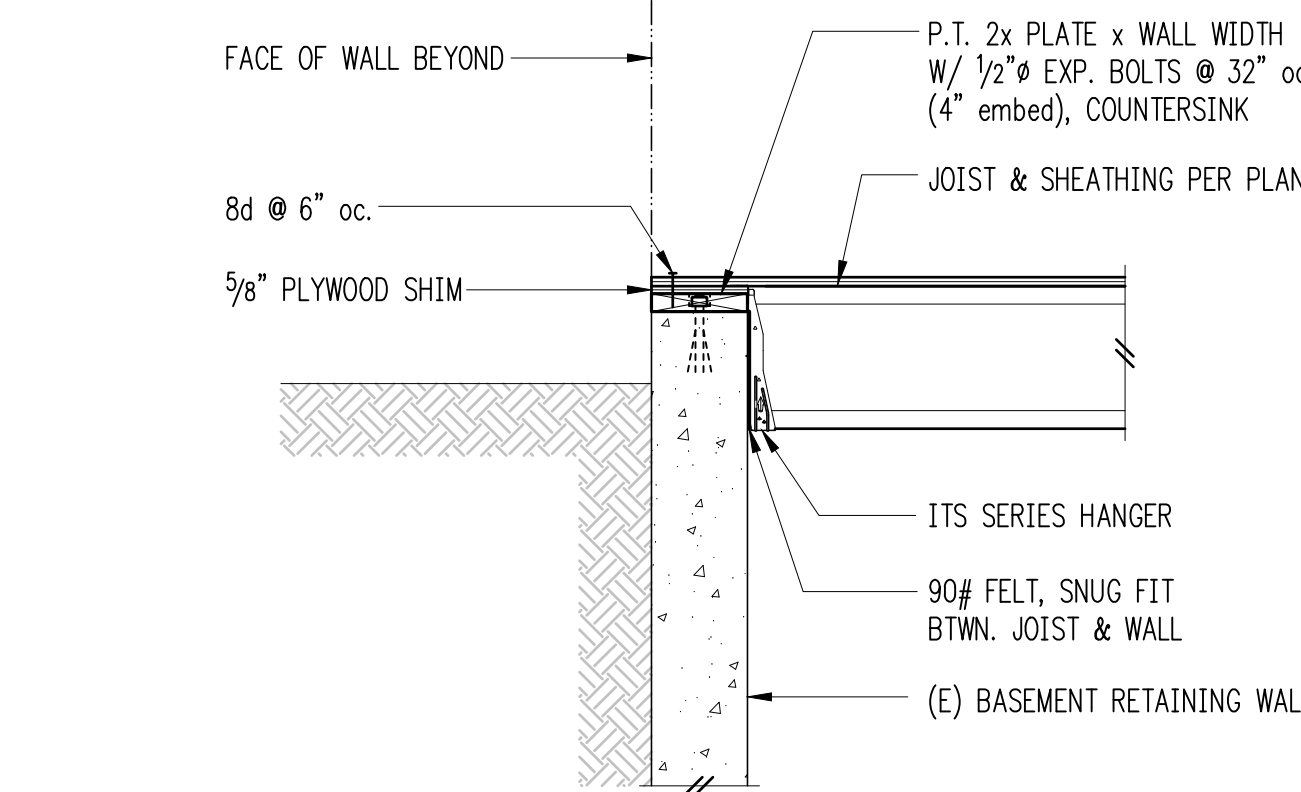
6" Garage Wall w/ Slab on Grade

8

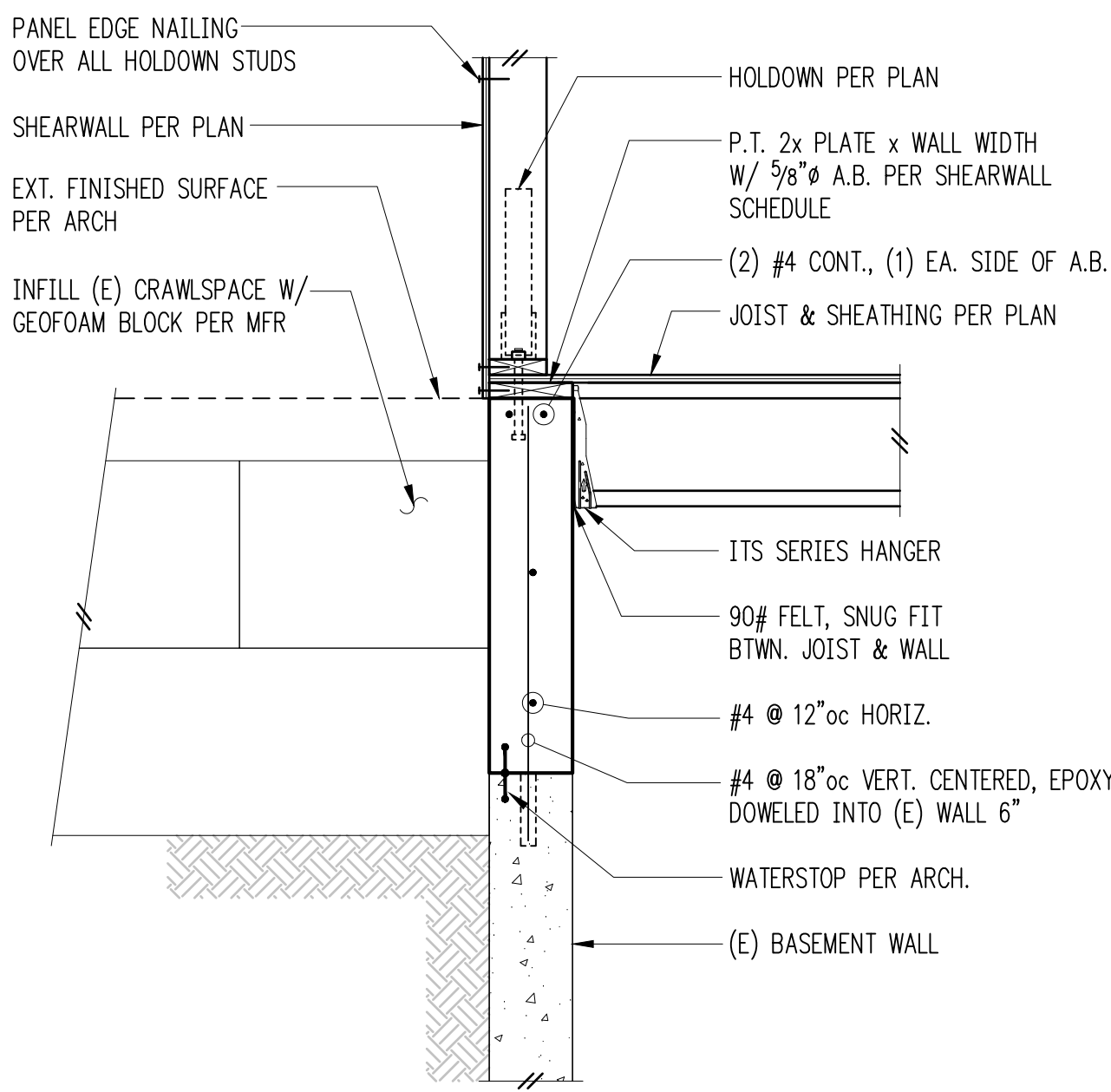


Exterior Framing at Crawl Space

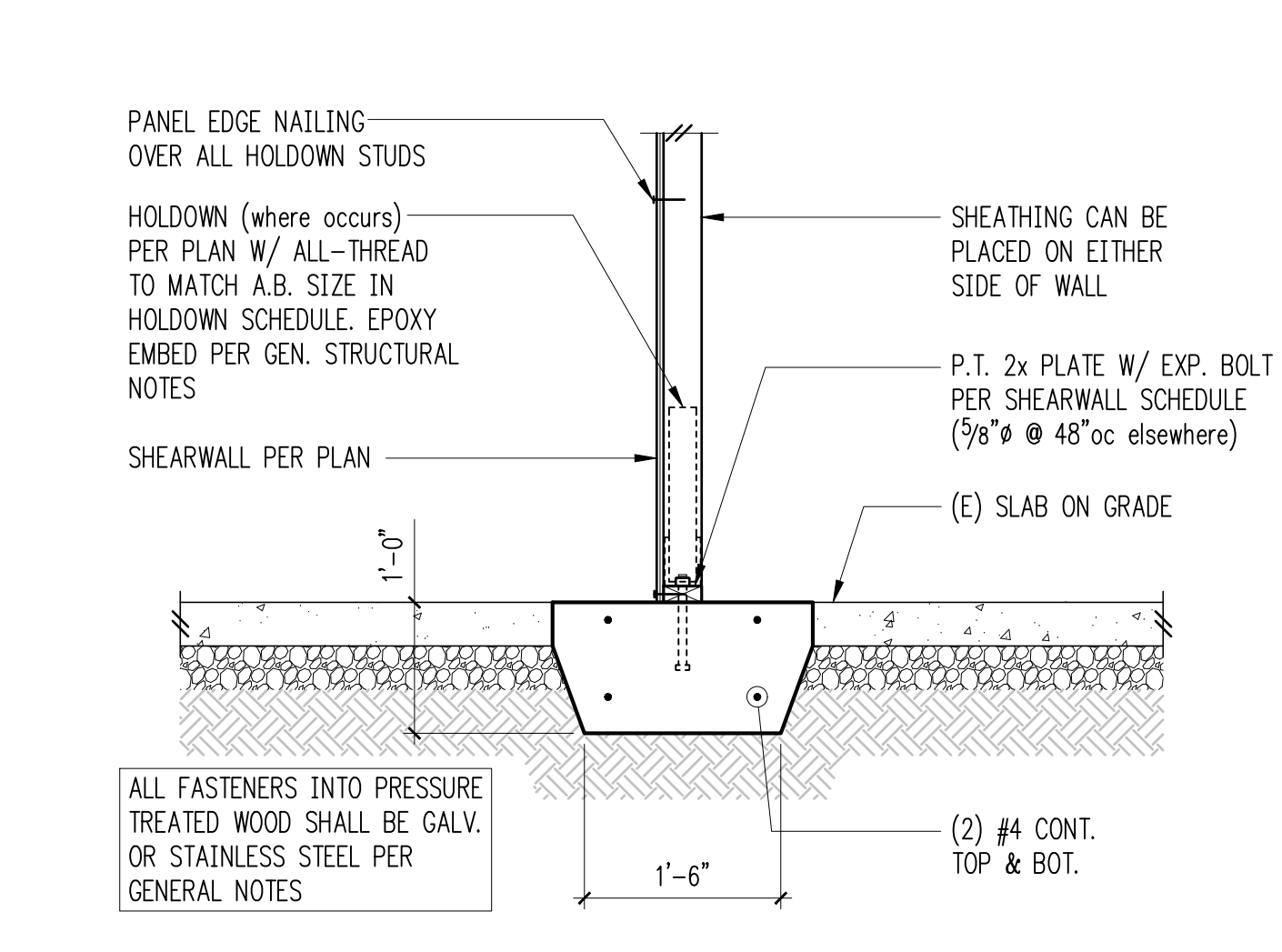
9



10



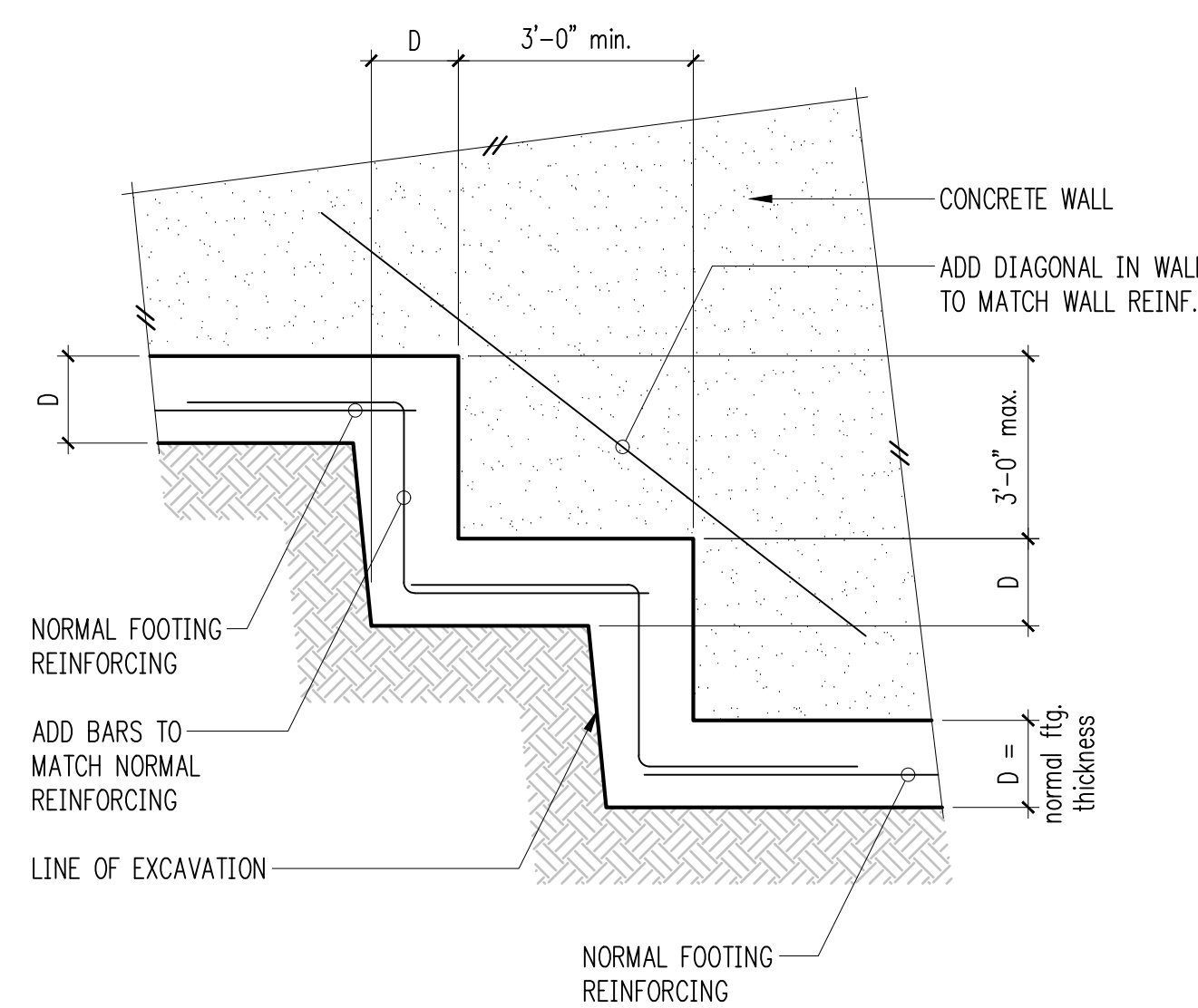
11



Interior Wall w/ Thickened Slab

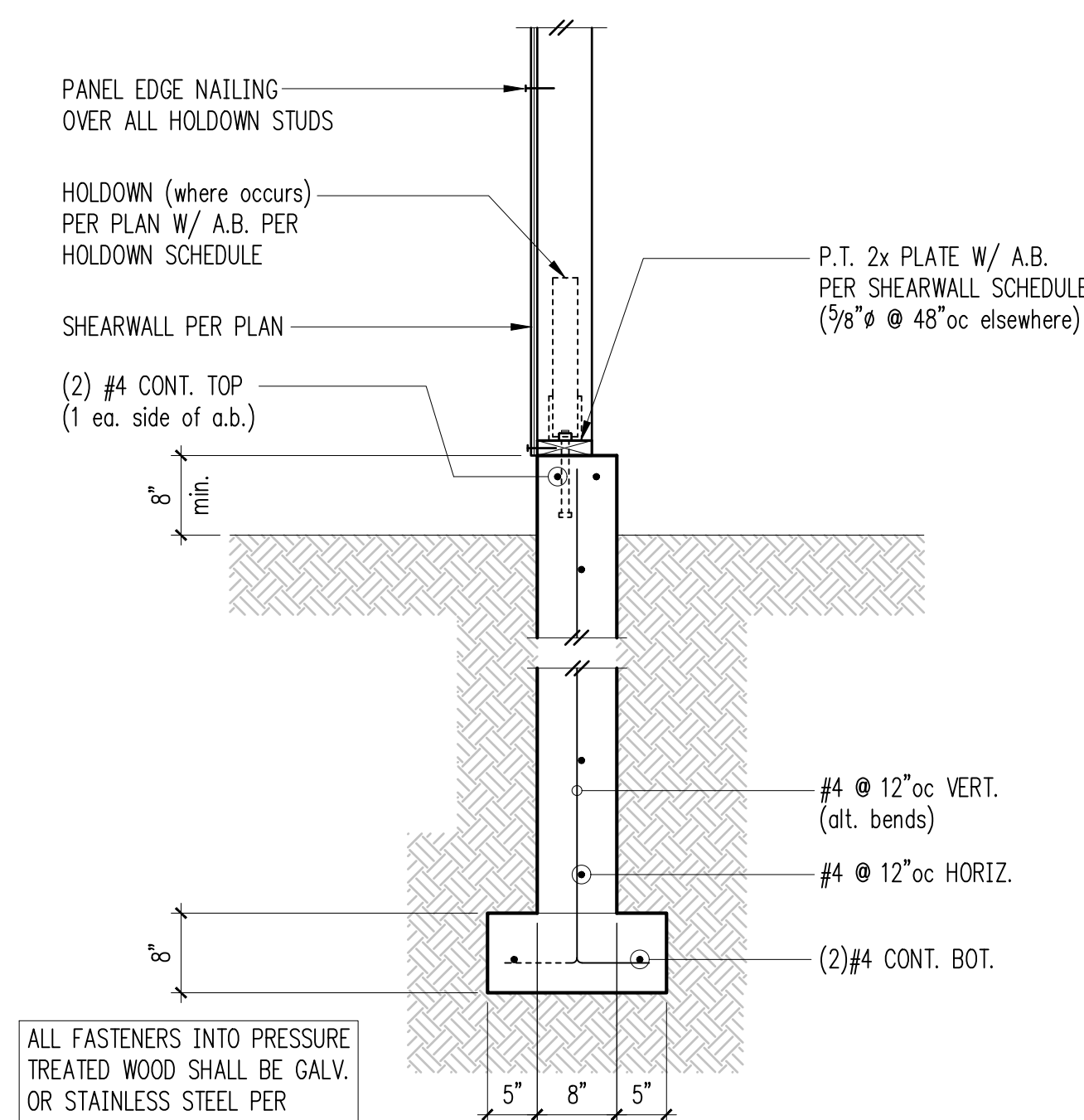
12

1

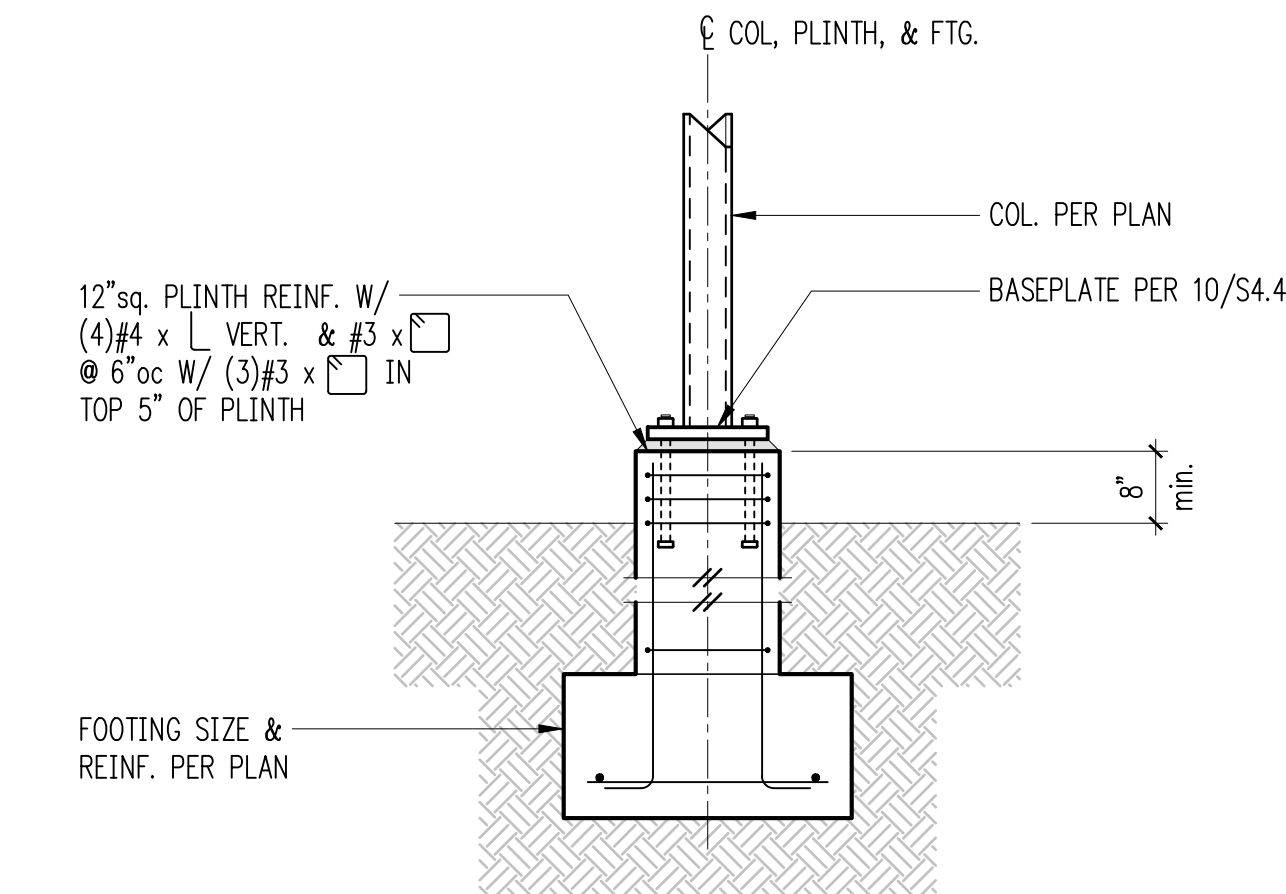


Typical Stepped Footing 2

ALL FASTENERS INTO PRESSURE TREATED WOOD SHALL BE GALV. OR STAINLESS STEEL PER GENERAL NOTES



Exterior Wall 3



Column Footing - Square Plinth 4

5

6

7

8

9

10

11

12



8/6/19

DRAWN: SJB
 DESIGN: RJA
 CHECKED: RJA
 APPROVED: ABB

REVISIONS:
 1 Permit Response Aug. 6, 2019

PROJECT TITLE:
 Paek Residence
 2215 80th Ave SE
 Mercer Island, WA 98040

ARCHITECT:
 MZA Architecture
 600 108th Ave NE, Suite 108
 Bellevue, WA 98004
 PH 425.559.7888

ISSUE: Permit

SHEET TITLE:
 Foundation Sections & Details

SCALE: 3/4 = 1'-0" U.N.O.
 DATE: Sept. 4, 2018
 PROJECT NO: 10604-2018-01-00
 SHEET NO:



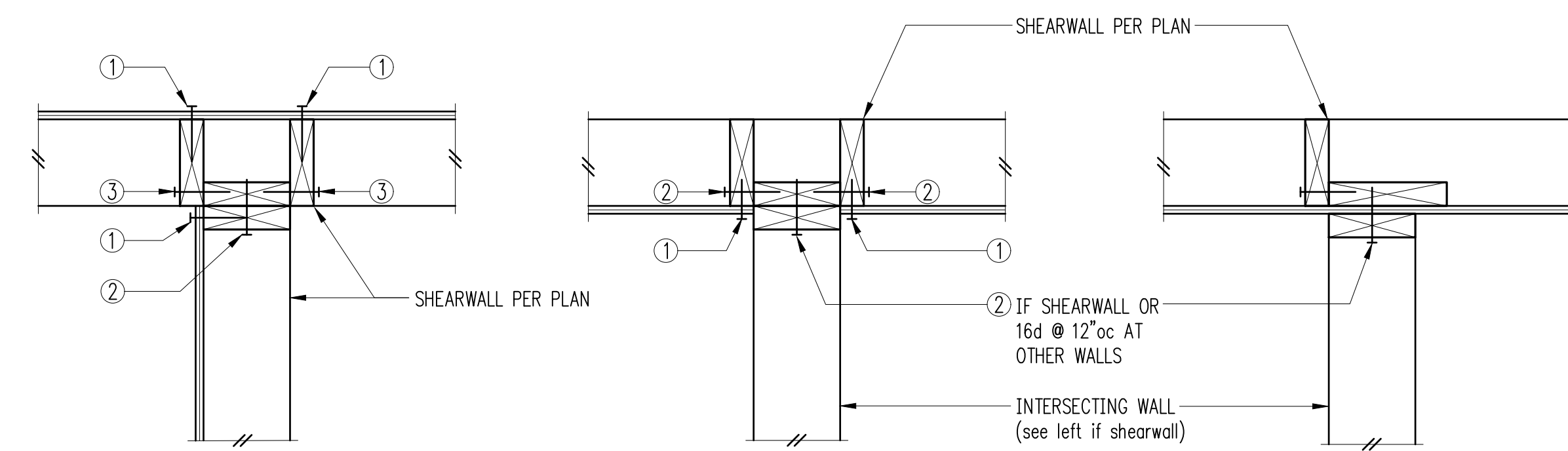
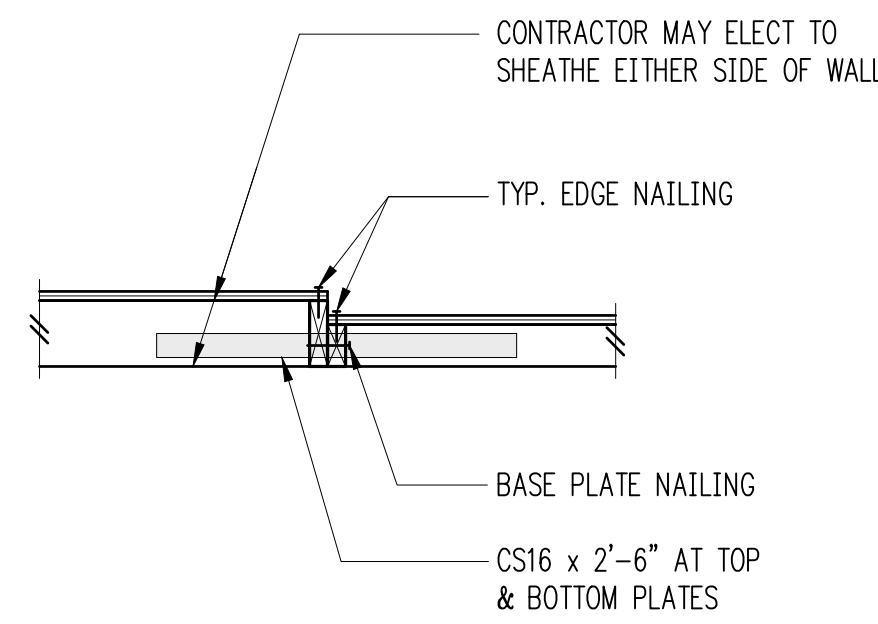


8/6/19

DRAWN: SJB
DESIGN: RJA
CHECKED: RJA
APPROVED: ABB

1

Typical Shearwall at Changing Wall Thickness 2

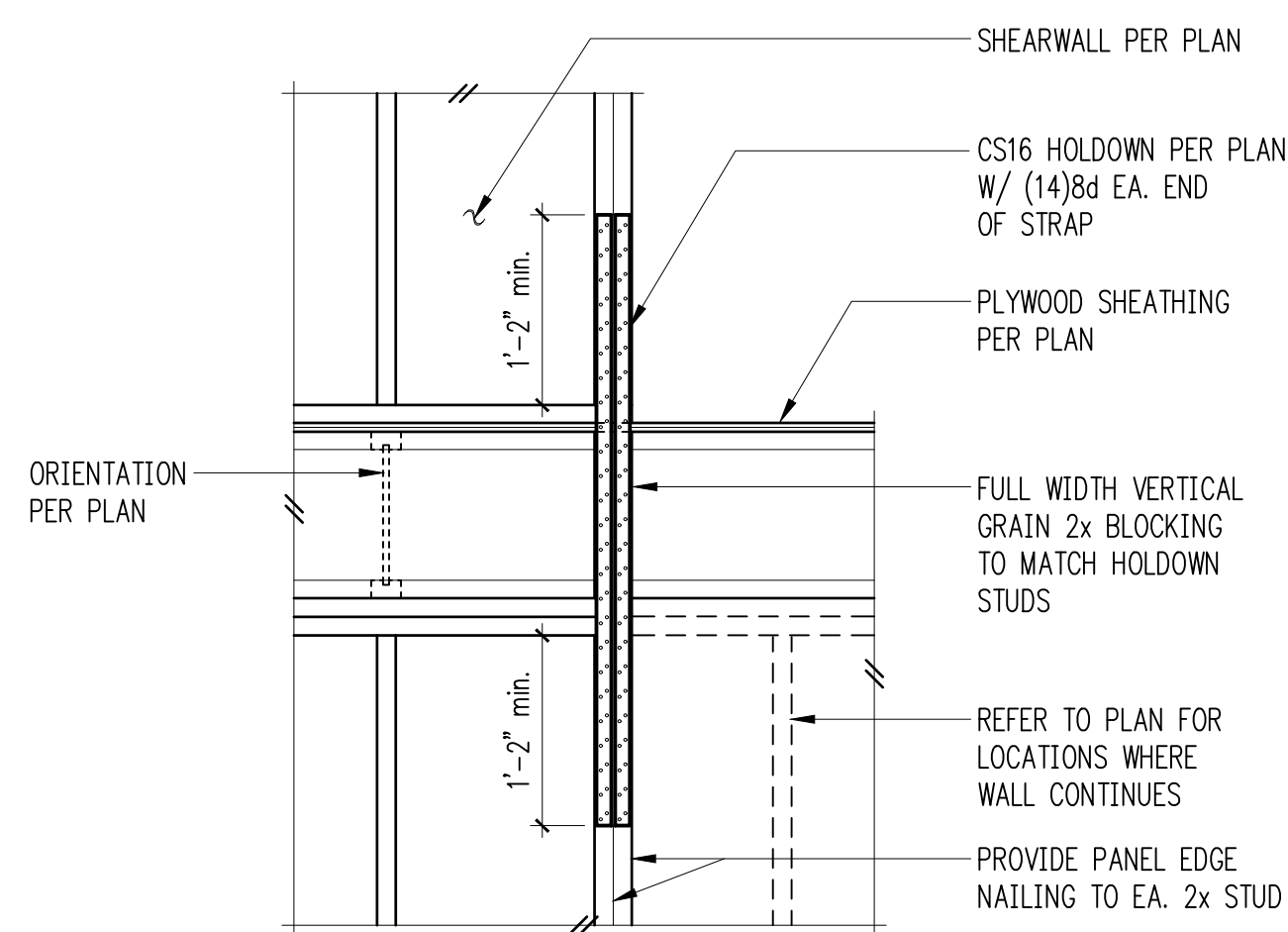


- ① PLYWOOD PANEL EDGE NAILING PER SHEARWALL SCHEDULE
- ② BASE PLATE NAILING PER SHEARWALL SCHEDULE
- ③ 16d @ 8"oc

Typical Shearwall Intersections 4

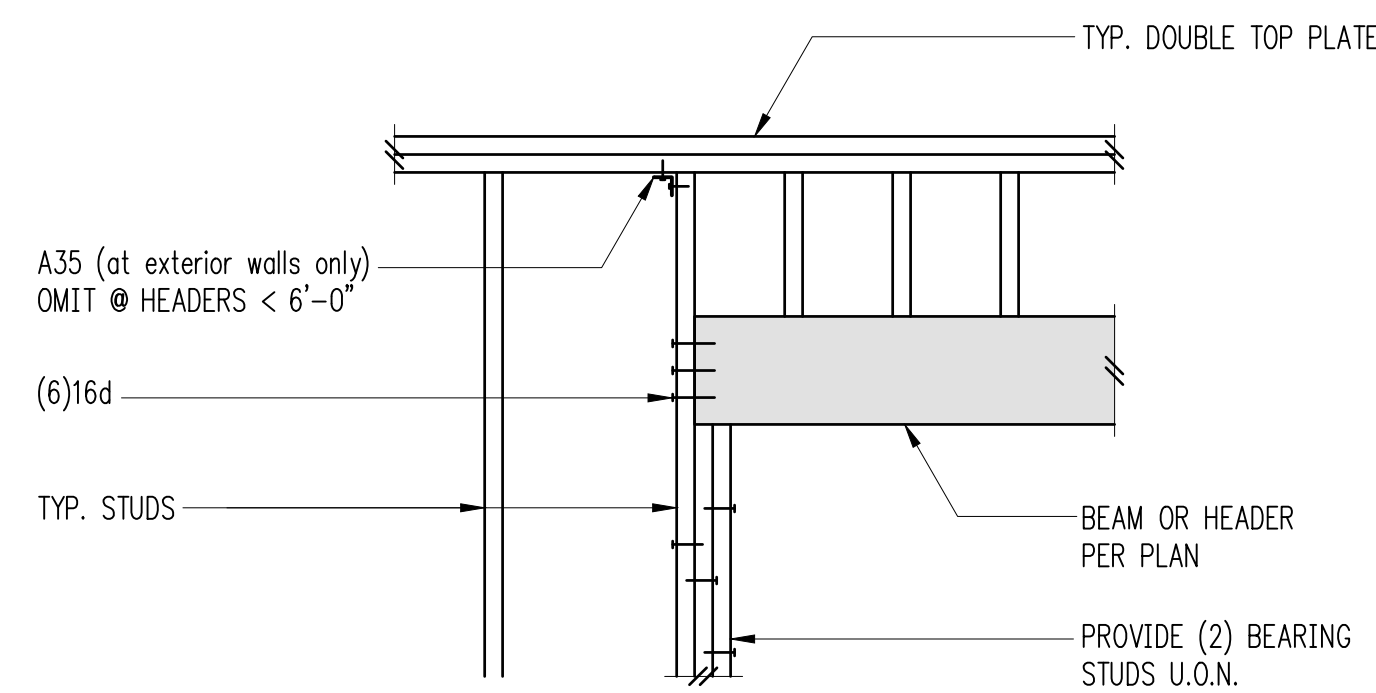
5

Typical CS16 Holddown 5



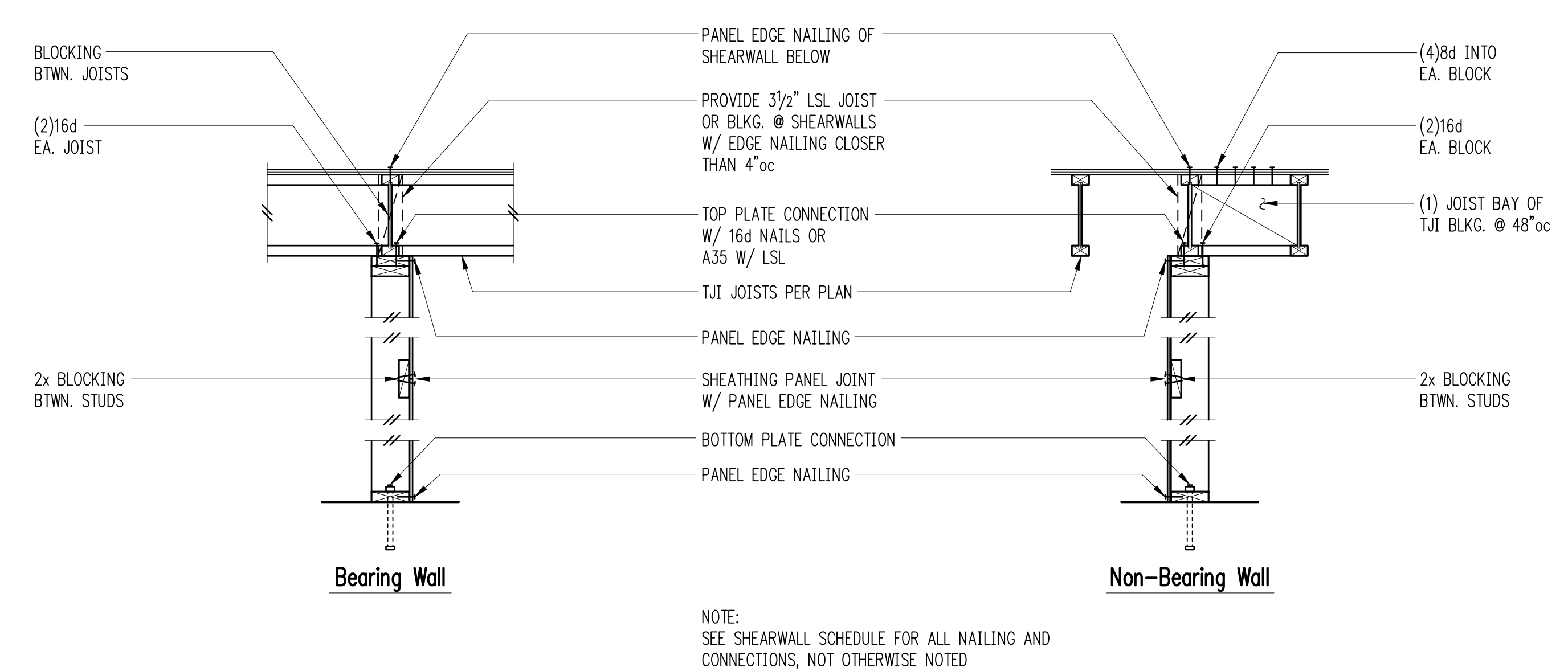
6

Typical Header Support w/2 Bearing Studs 6



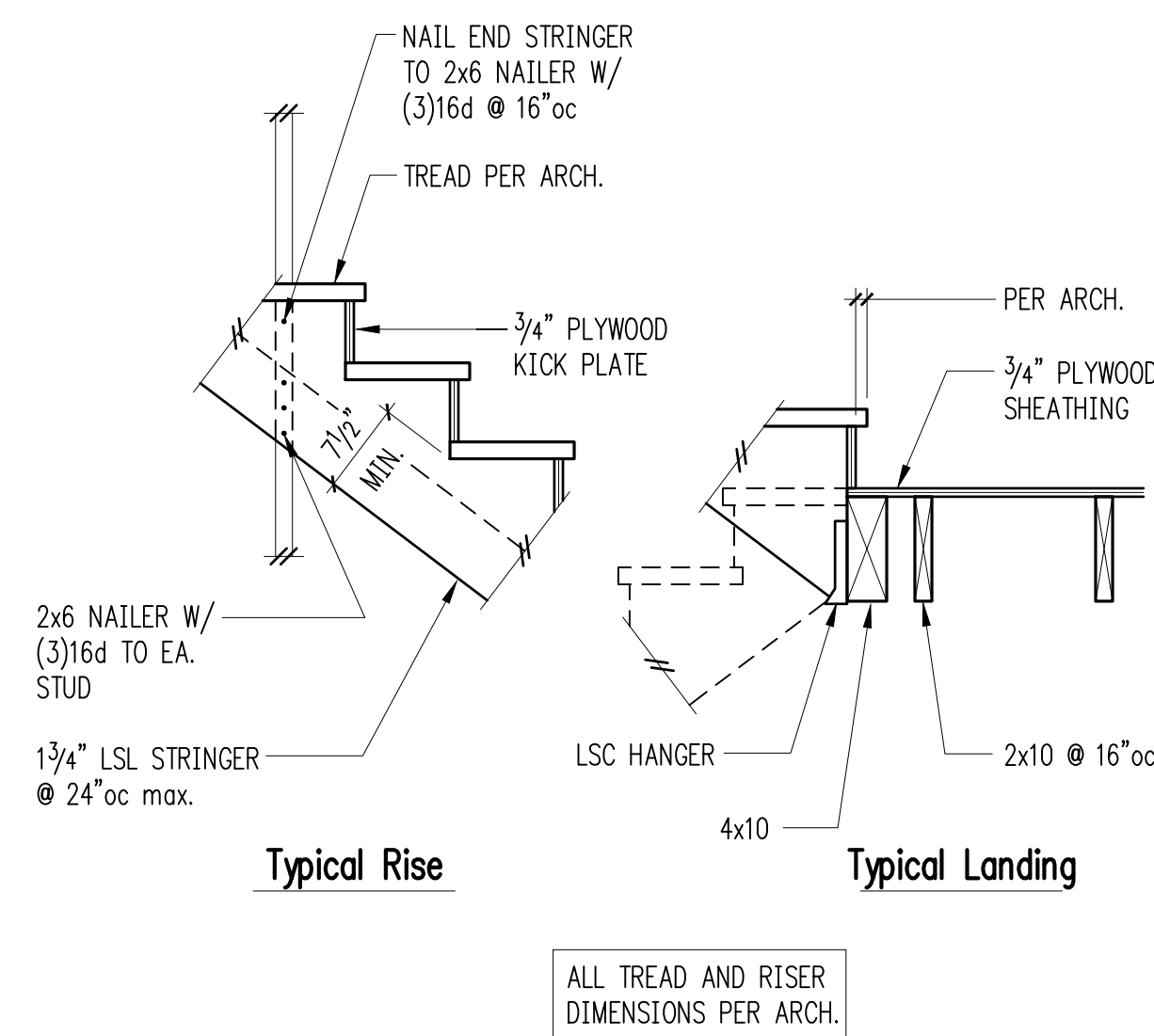
8

Typical Shearwall Construction 8



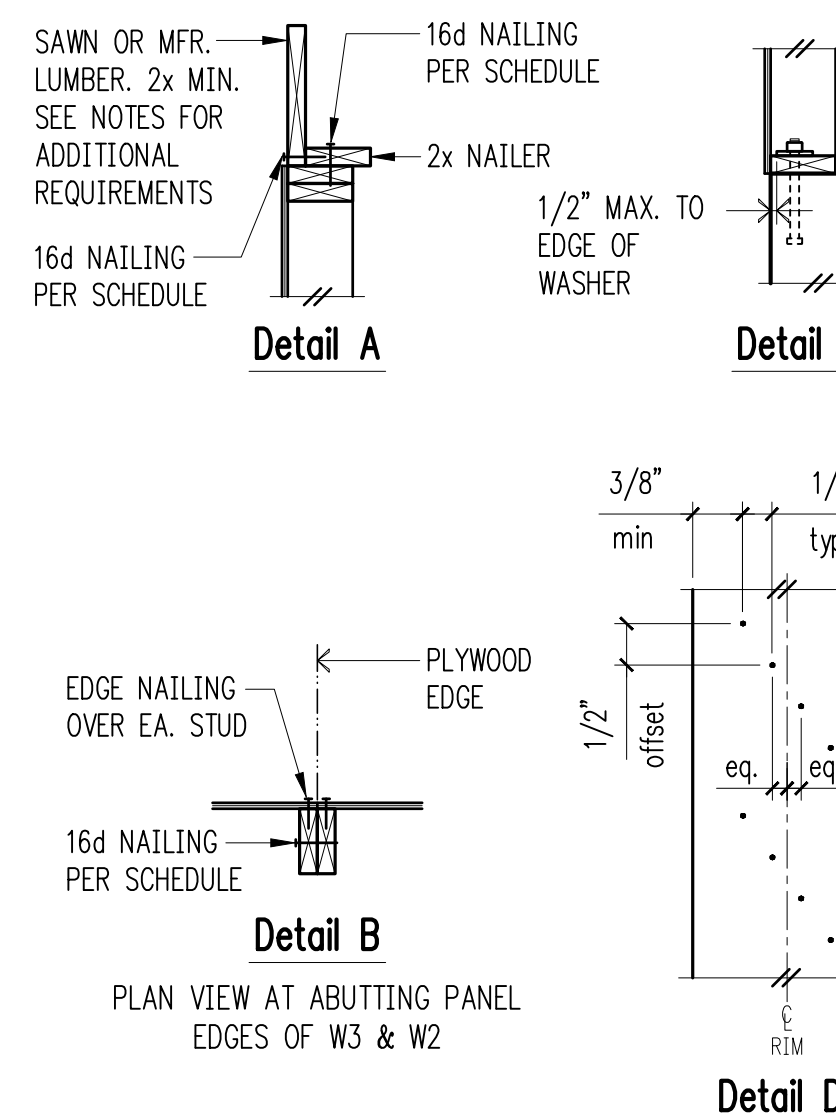
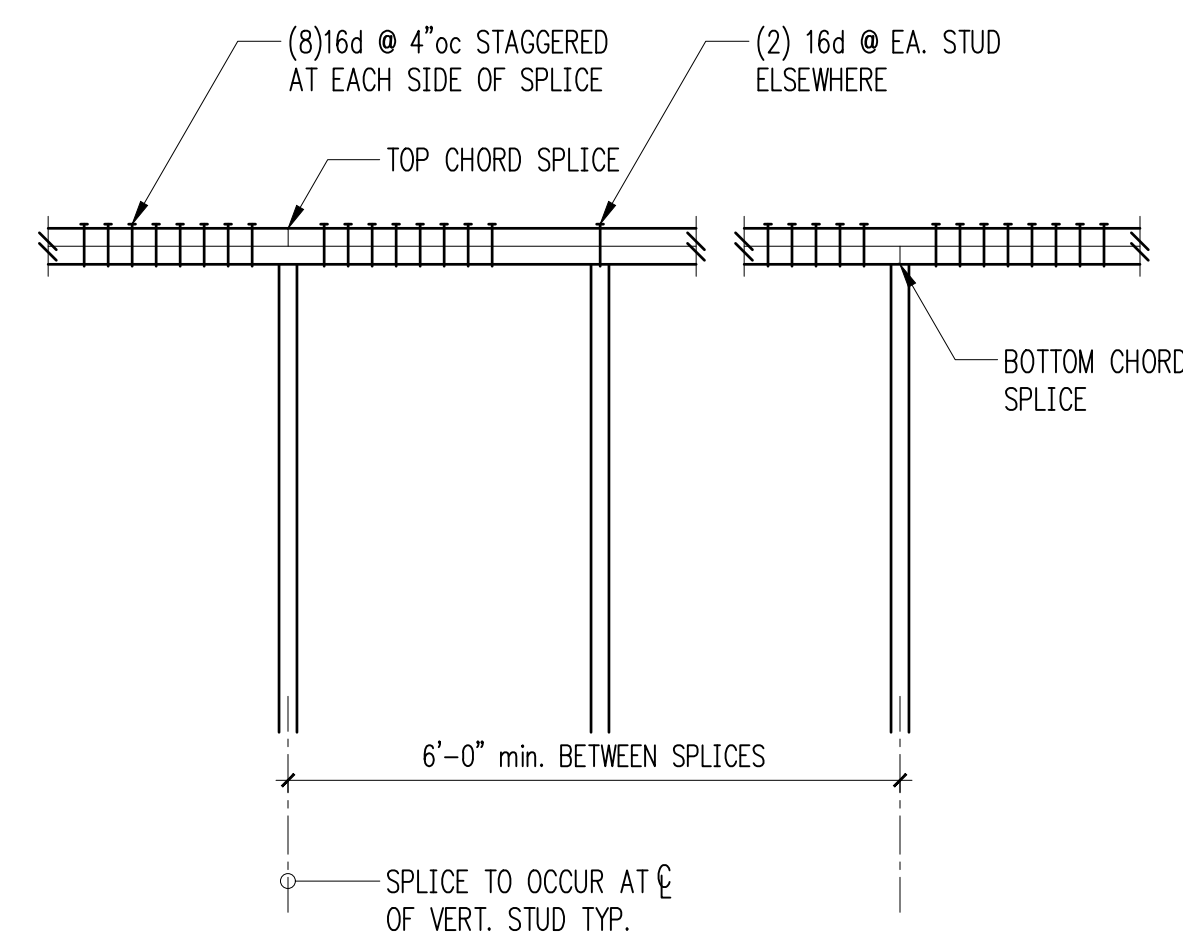
9

Typical Stair and Landing Detail 9



10

Typical Top Plate Splice 10



Shearwall Schedule ①②③④⑤⑥⑦

Mark	Sheathing	Panel Edge Nailing	Top Plate Connection		Base Plate Connection	
			if TJI	if Wood ⑤	at Wood ⑩	at Concrete
W6	15/32" CDX PLYWOOD	8d @ 6"oc	16d @ 6"oc	A35 @ 24"oc	16d @ 6"oc	5/8" A.B. @ 48"oc
W4	15/32" CDX PLYWOOD	8d @ 4"oc	16d @ 4"oc	A35 @ 16"oc	(2)rows 16d @ 6"oc	5/8" A.B. @ 32"oc
W3 ①	15/32" CDX PLYWOOD	8d @ 3"oc	(2)rows 16d @ 4"oc	A35 @ 12"oc	(2)rows 16d @ 6"oc	5/8" A.B. @ 24"oc
W2 ②	15/32" CDX PLYWOOD	8d @ 2"oc	(2)rows 16d @ 4"oc	A35 @ 9"oc	(2)rows 16d @ 4"oc ⑪	5/8" A.B. @ 16"oc

- ① BLOCK PANEL EDGES WITH 2x MIN. LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d @ 12"oc.
- ② 8d NAILS SHALL BE 0.131" x 2 1/2" (common) - 16d NAILS SHALL BE 0.135" x 3 1/2" (box)
- ③ EMBED ANCHOR BOLTS AT LEAST 7". EXPANSION BOLTS MAY BE SUBSTITUTED FOR ANCHOR BOLTS WITH 4" EMBEDMENT. TITEN HD SCREW ANCHORS MAY BE SUBSTITUTED FOR ANCHOR BOLTS W/ 4" EMBEDMENT. ALL BOLTS SHALL HAVE 3" x 3" x 1/4" MIN. PLATE WASHERS. PLATE WASHERS SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH SHEATHING. SEE DETAIL C.
- ④ 3x STUDS OR DOUBLE STUDS NAILED TOGETHER W/ BASE PLATE NAILING ARE REQUIRED AT ABUTTING PANEL EDGES OF W3 AND W2. SEE DETAIL B. WHERE 3x STUDS ARE USED FOR W2, STAGGER NAILS AT ADJOINING PANEL EDGES.
- ⑤ TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF ALL SHEARWALLS AND ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING. SEE PLANS AND HOLDOWN SCHEDULE FOR ALTERNATE REQUIREMENTS.
- ⑥ ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE.
- ⑦ 7/16" O.S.B. MAY BE SUBSTITUTED FOR 15/32" CDX.
- ⑧ LTP4's (HORIZONTAL ORIENTATION) W/ 8d COMMON MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.
- ⑨ A 2x NAILER ATTACHED W/ BASE PLATE NAILING PER DETAIL A MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.
- ⑩ AT MULTI-ROW NAILING, MINIMUM OFFSET BETWEEN ROWS AND ROW SPACING 1/2", SEE DETAIL D.
- ⑪ PROVIDE (3) ROWS 16d @ 6"oc AT LVL RIMS.

Shearwall Schedule - (Sheathed One Side) 12

REVISIONS:

1 Permit Response Aug. 6, 2019

DPD:

PROJECT TITLE:

Paek Residence
2215 80th Ave SE
Mercer Island, WA 98040

ARCHITECT:

MZA Architecture
600 108th Ave NE, Suite 108
Bellevue, WA 98004
PH 425.559.7888

ISSUE:

Permit

SHEET TITLE:

Typical Wood Sections & Details

SCALE:

3/4 = 1'-0" U.N.O.

DATE:

Sept. 4, 2018

PROJECT NO:

10604-2018-01-00

SHEET NO:

S4.1



8/6/19

DRAWN: SJB
DESIGN: RJA
CHECKED: RJA
APPROVED: ABB

REVISIONS:

1 Permit Response Aug. 6, 2019

DPD:

PROJECT TITLE:

Paek Residence
2215 80th Ave SE
Mercer Island, WA 98040

ARCHITECT:
MZA Architecture
600 108th Ave NE, Suite 108
Bellevue, WA 98004
PH 425.559.7888

ISSUE:

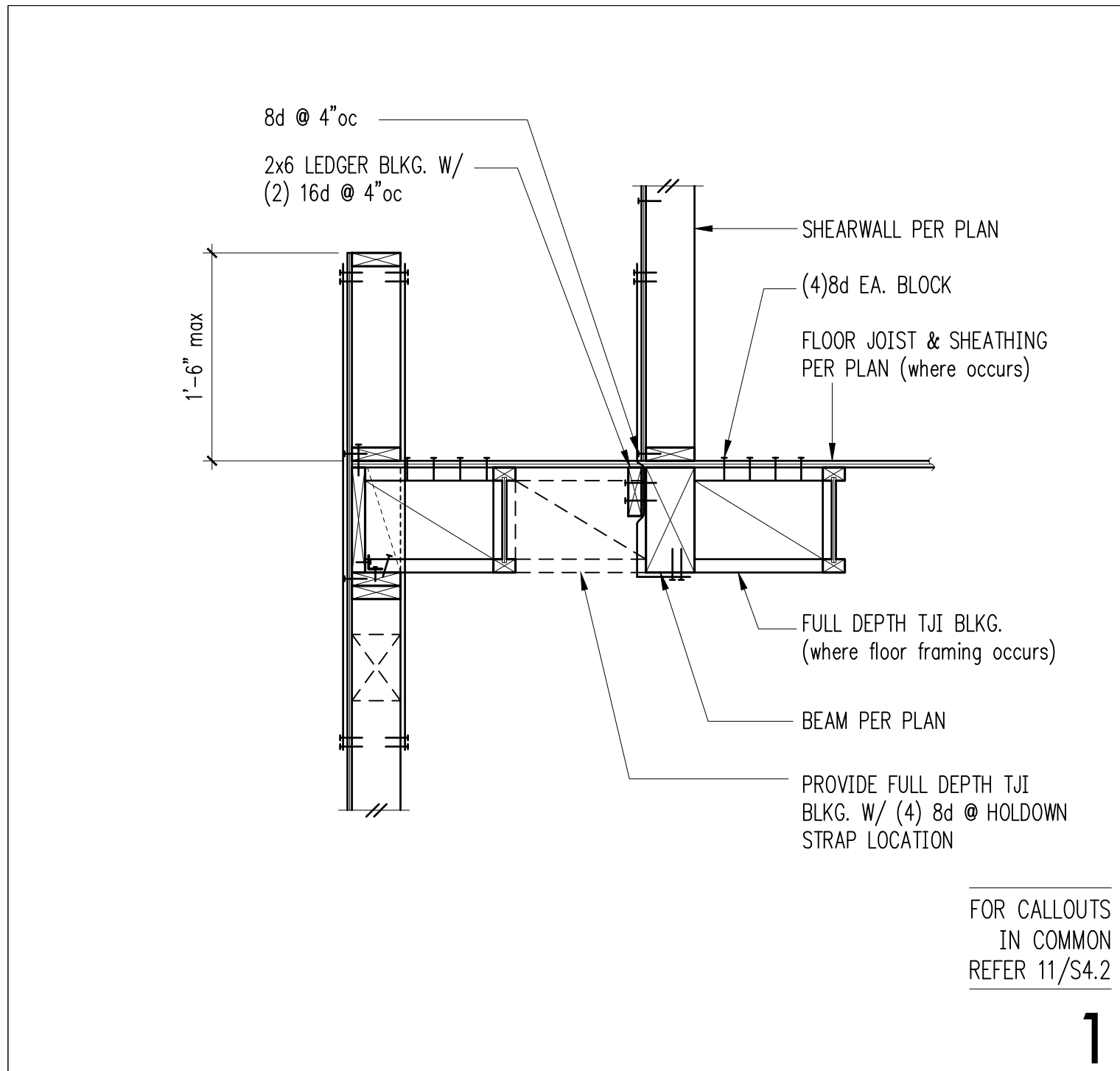
Permit

SHEET TITLE:

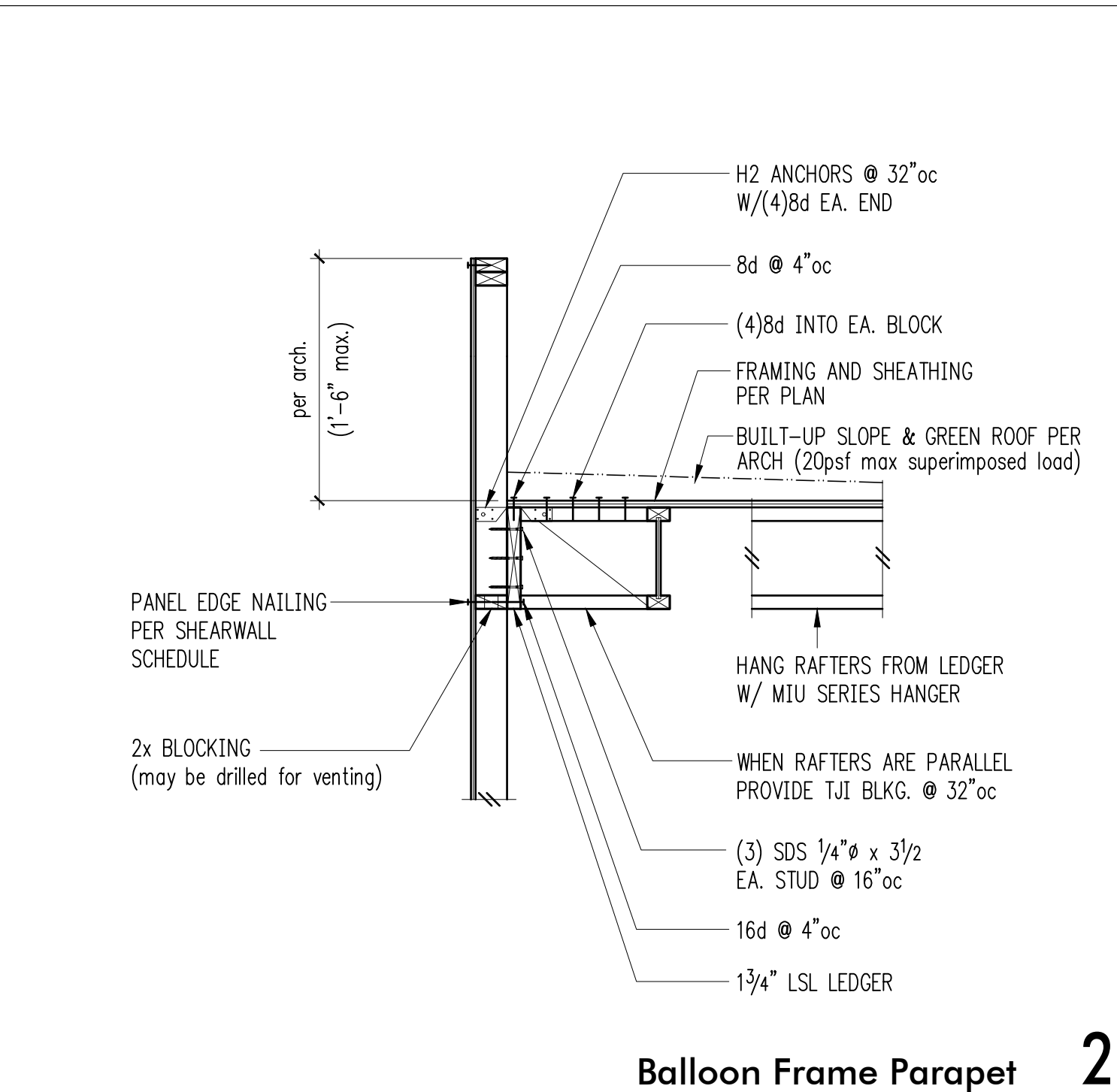
Wood Framing
Sections & Details

SCALE: 3/4" = 1'-0" U.N.O.
DATE: Sept. 4, 2018
PROJECT NO: 10604-2018-01-00
SHEET NO:

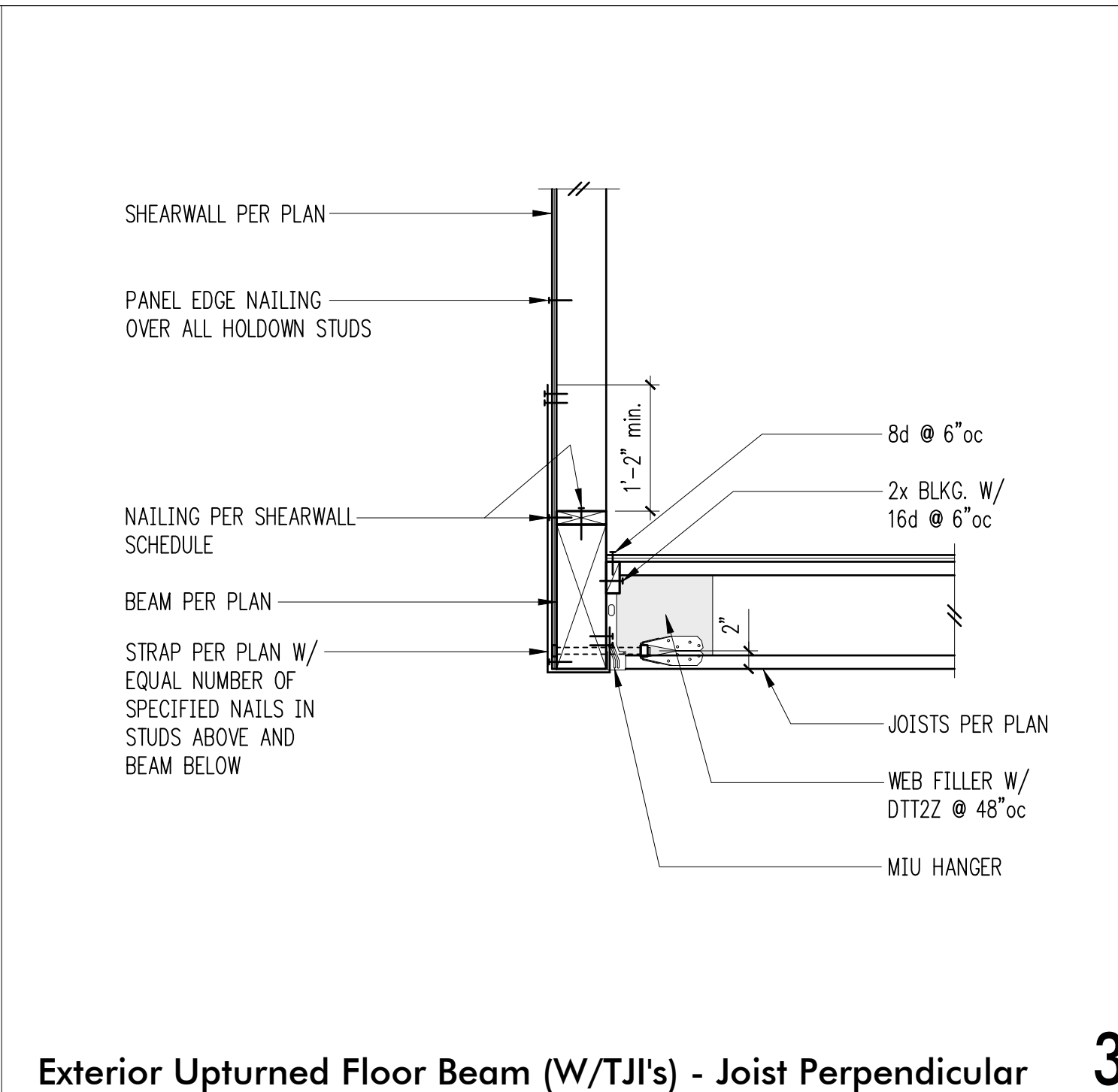
S4.2



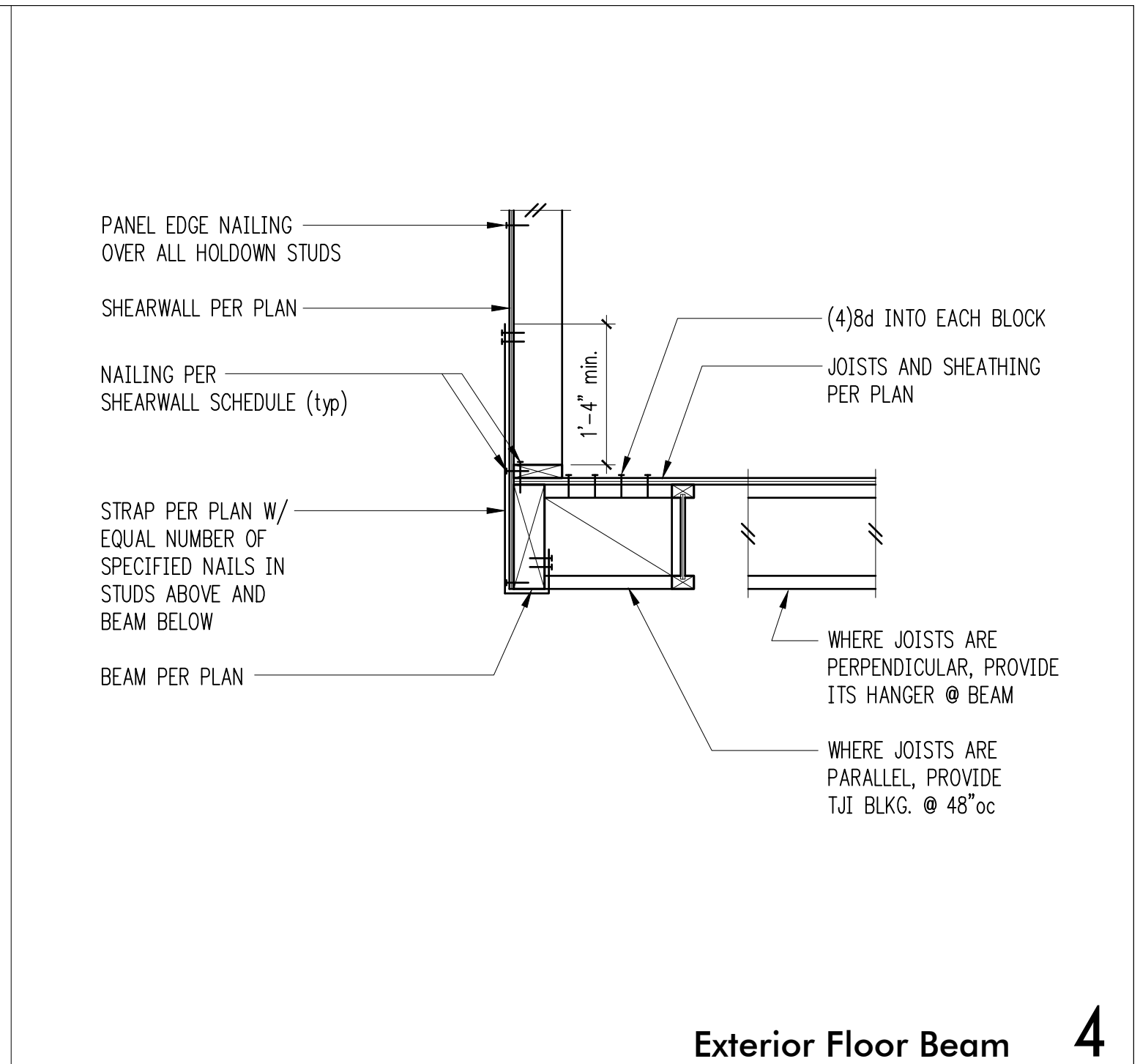
1



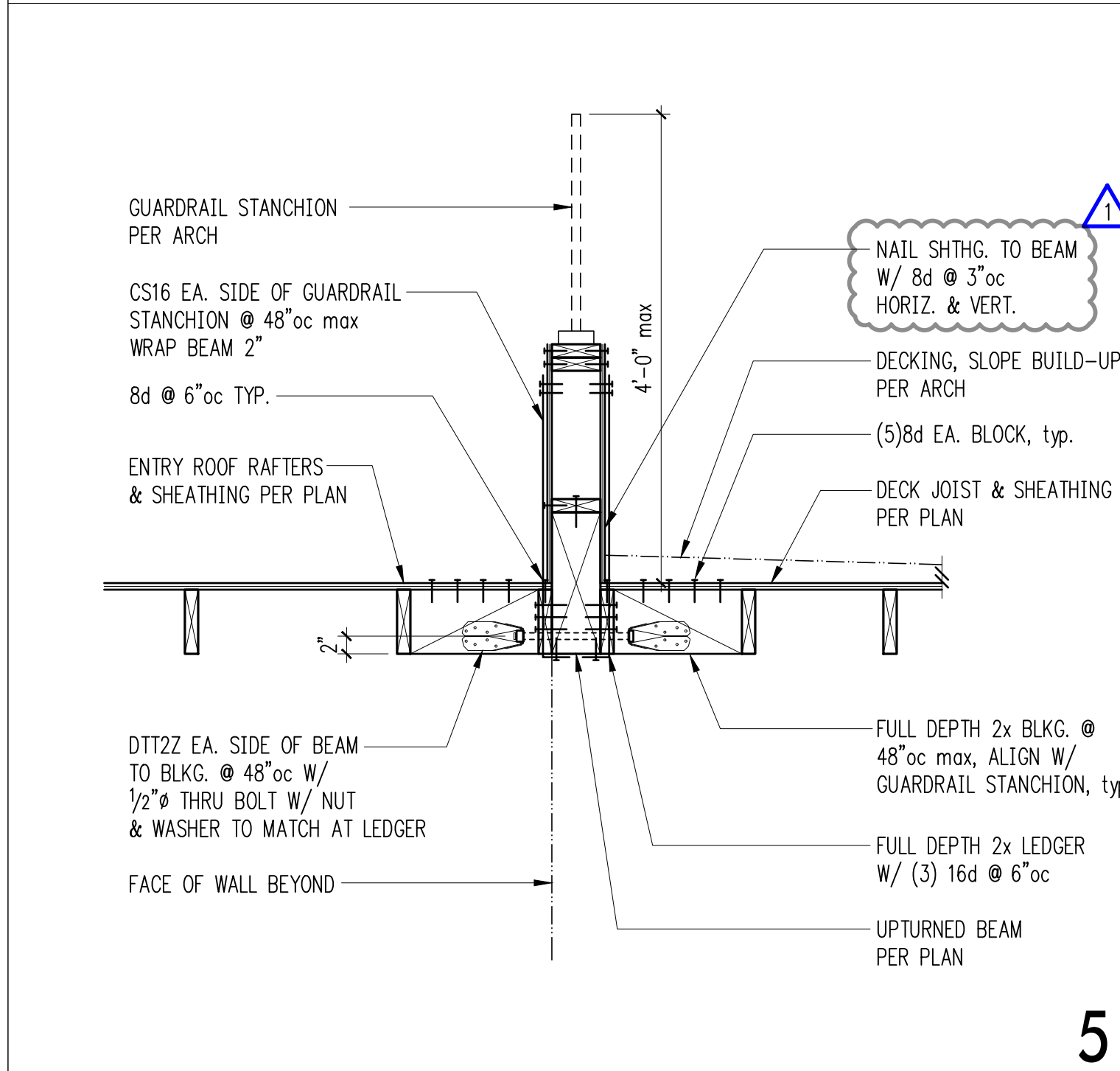
2



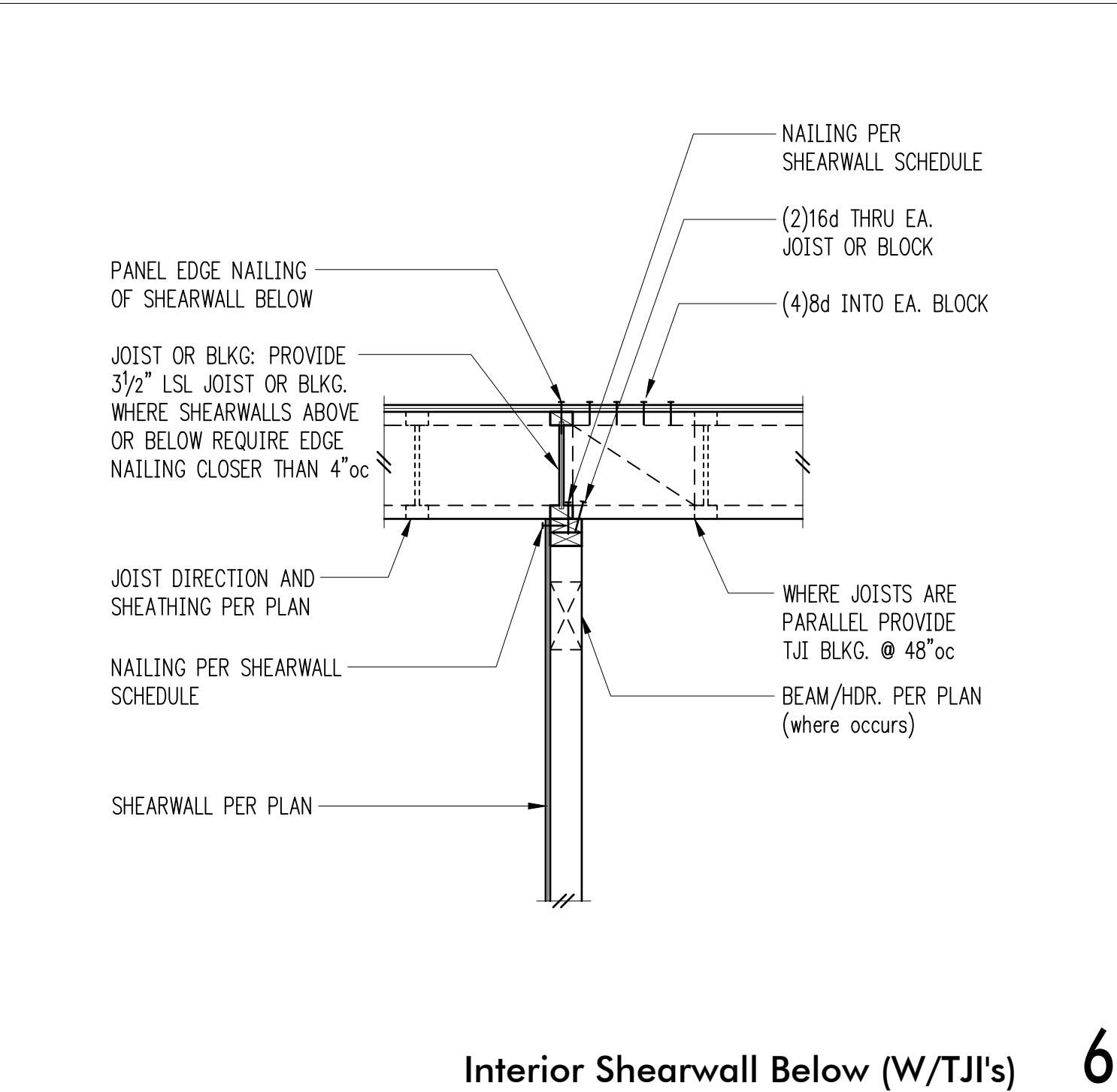
3



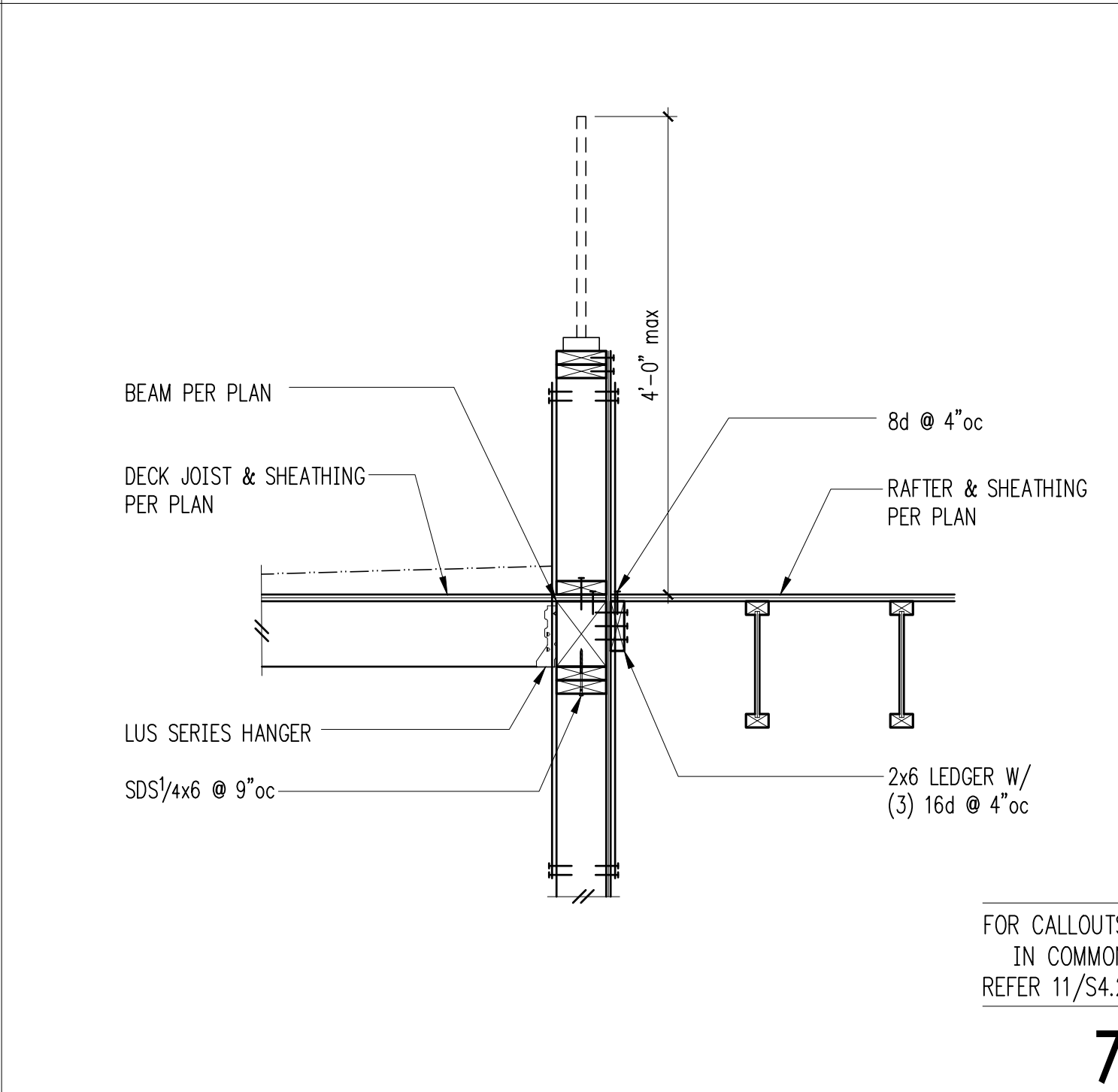
4



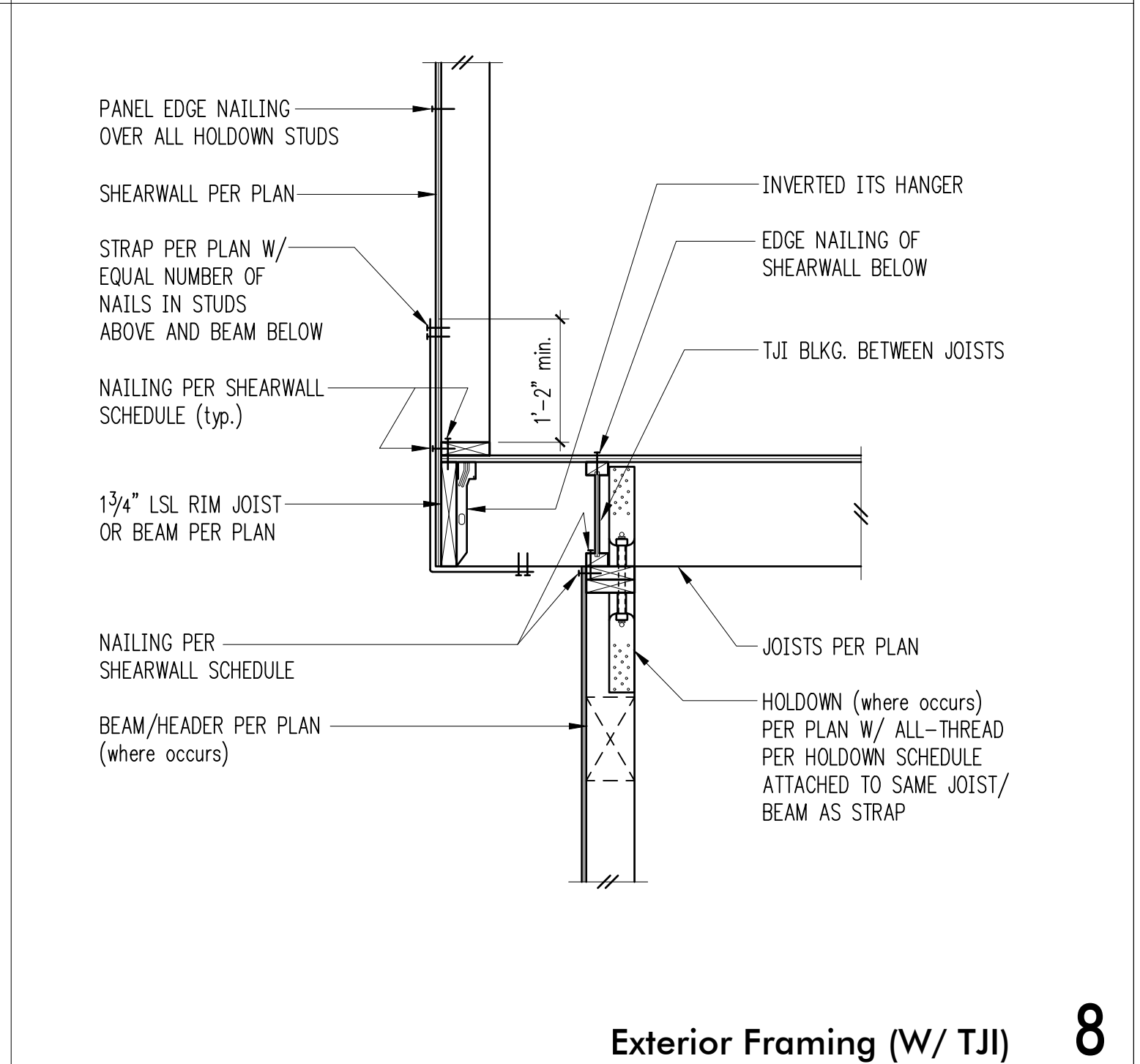
5



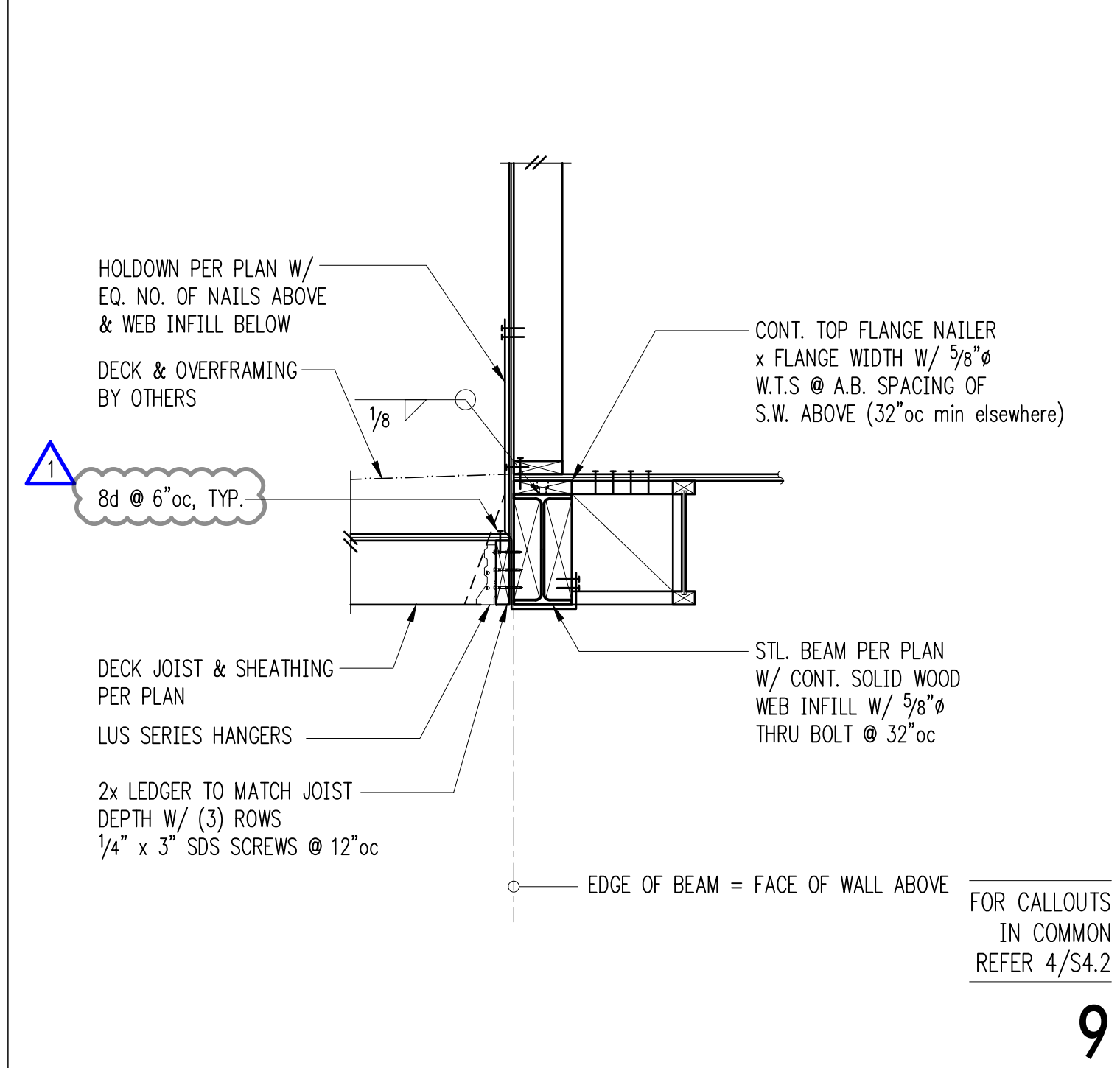
6



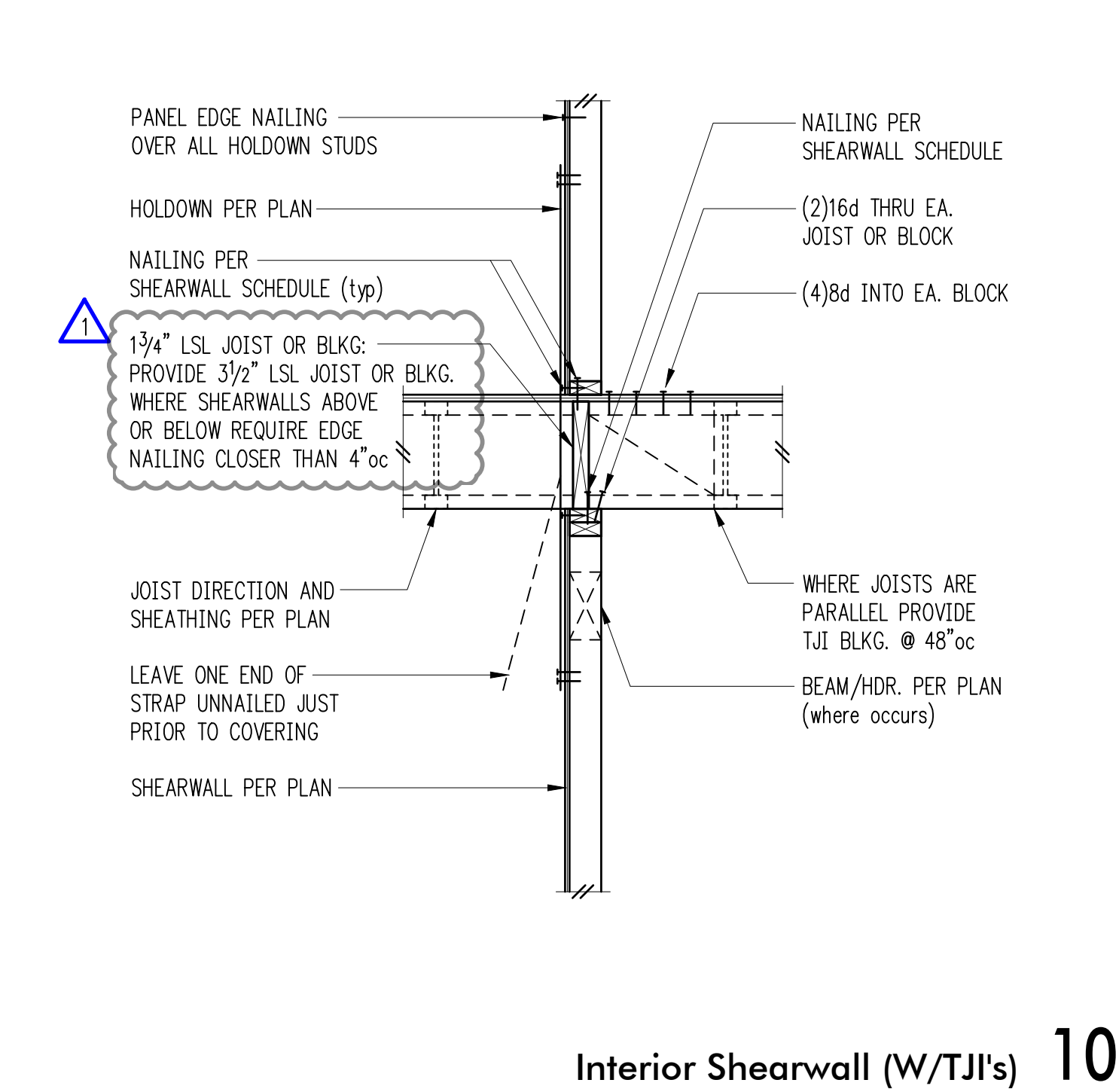
7



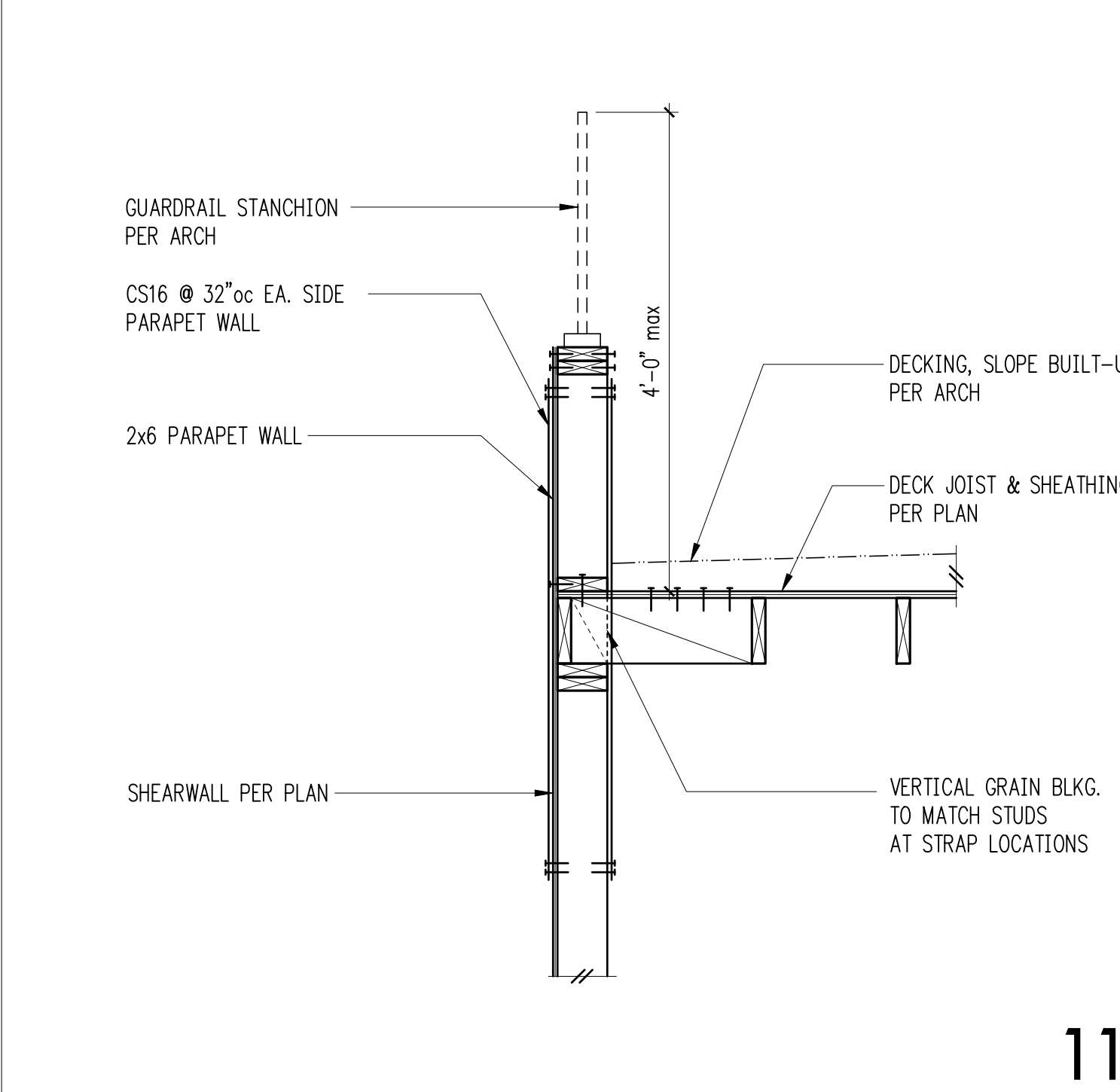
8



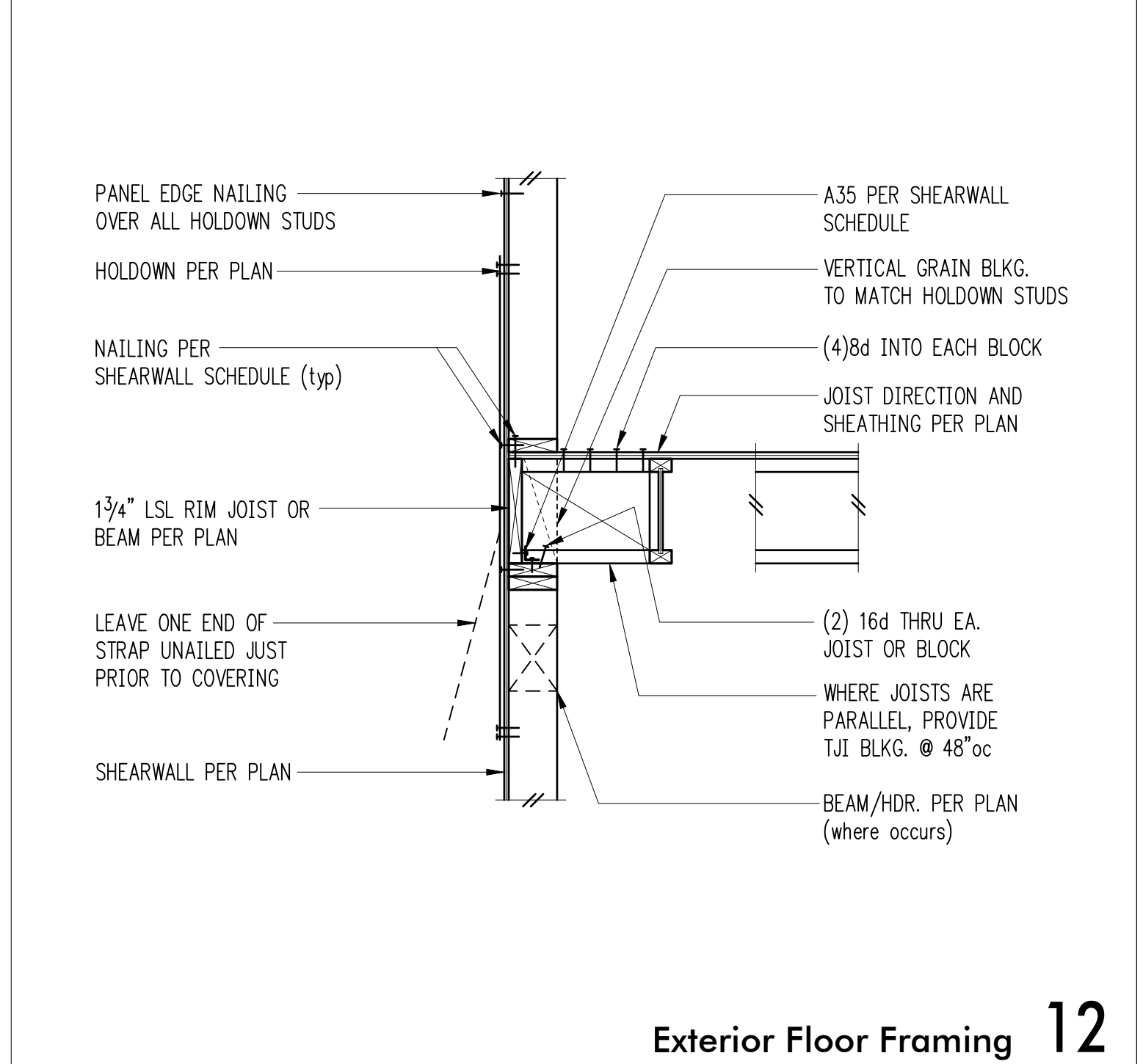
9



10



11



12



8/6/19

DRAWN: SJB
DESIGN: RJA
CHECKED: RJA
APPROVED: ABB

REVISIONS:

1 Permit Response Aug. 6, 2019

DPD:

PROJECT TITLE:

Paek Residence
2215 80th Ave SE
Mercer Island, WA 98040

ARCHITECT:
MZA Architecture
600 108th Ave NE, Suite 108
Bellevue, WA 98004
PH 425.559.7888

ISSUE:

Permit

SHEET TITLE:

Wood Framing
Sections & Details

SCALE:

3/4 = 1'-0" U.N.O.

DATE:

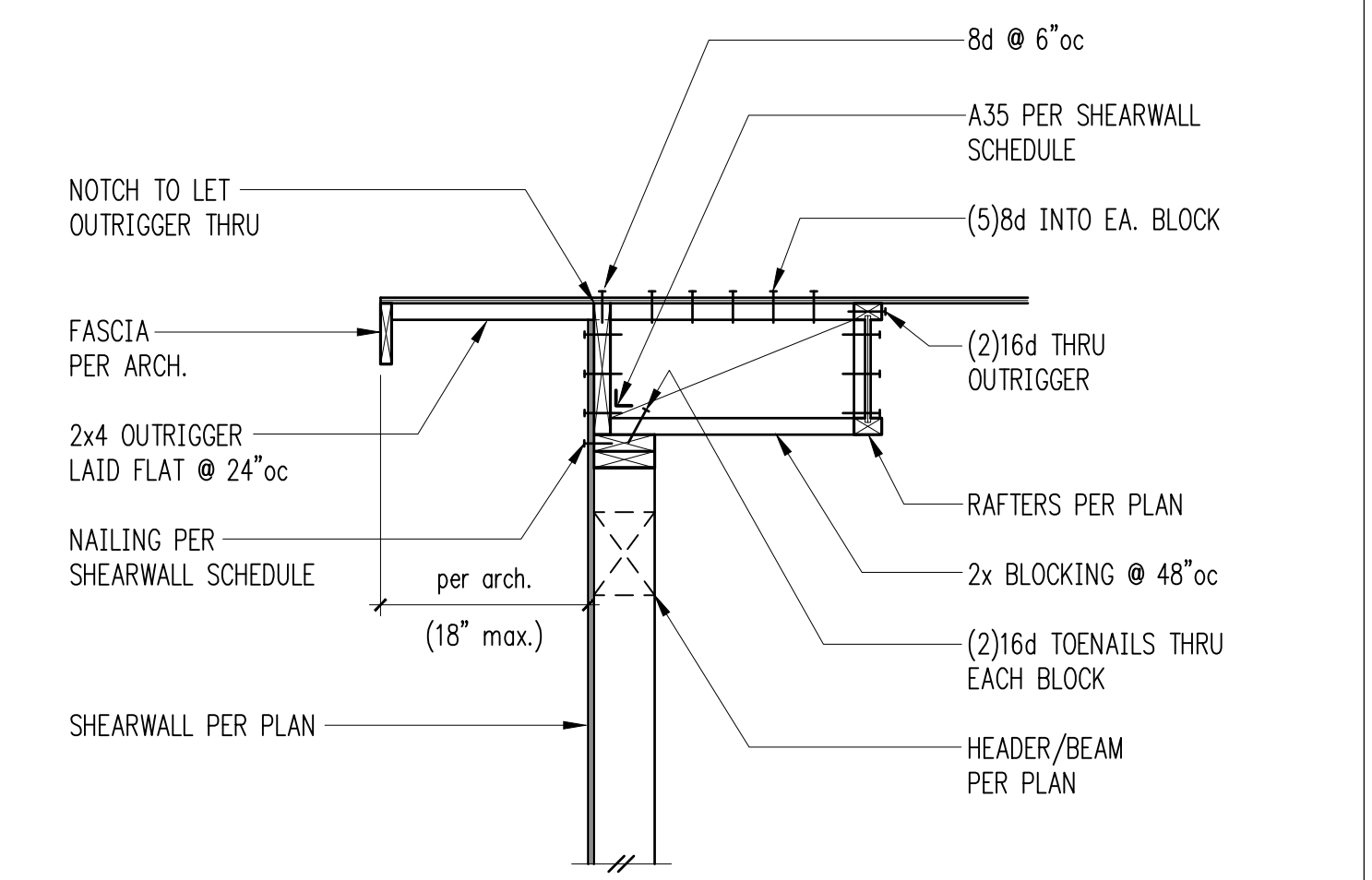
Sept. 4, 2018

PROJECT NO:

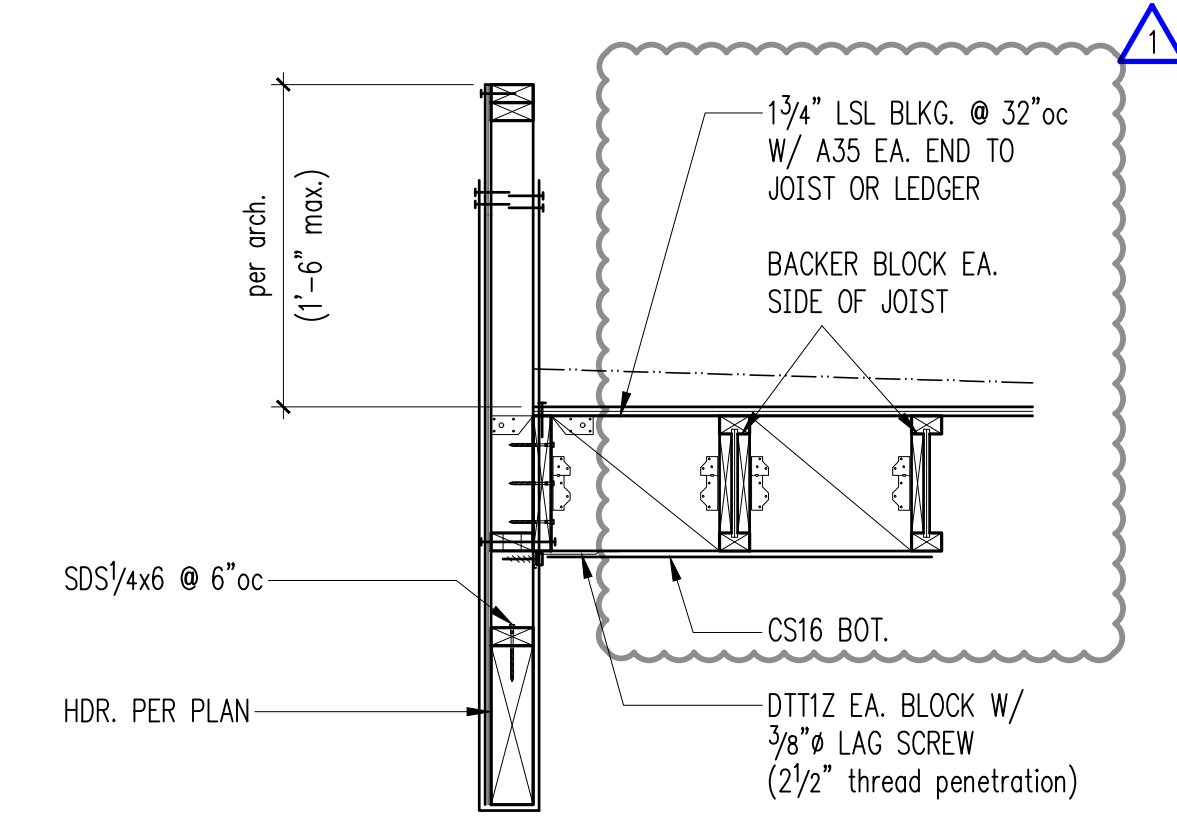
10604-2018-01-00

SHEET NO:

S4.3

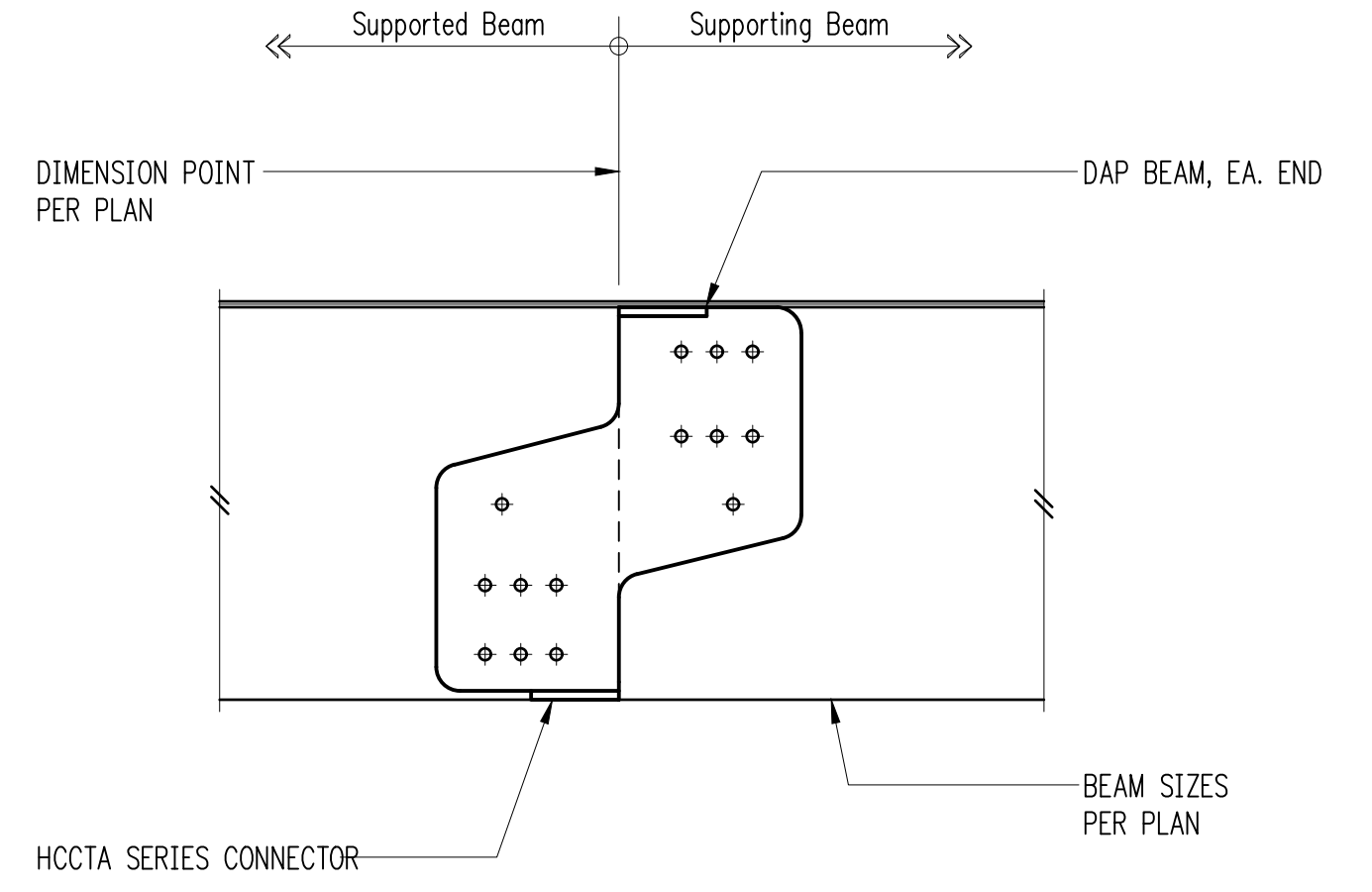


Exterior Non-Bearing Wall 4

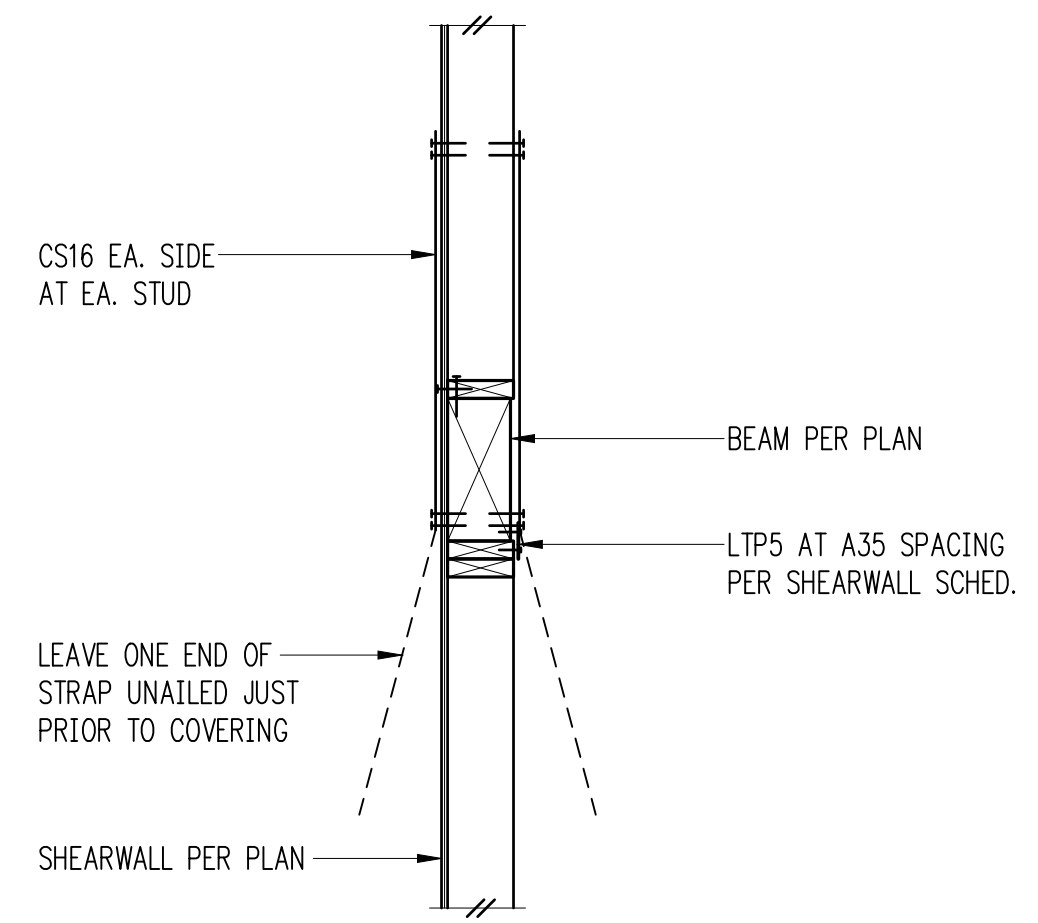


FOR CALLOUTS
IN COMMON
REFER 2/S4.2

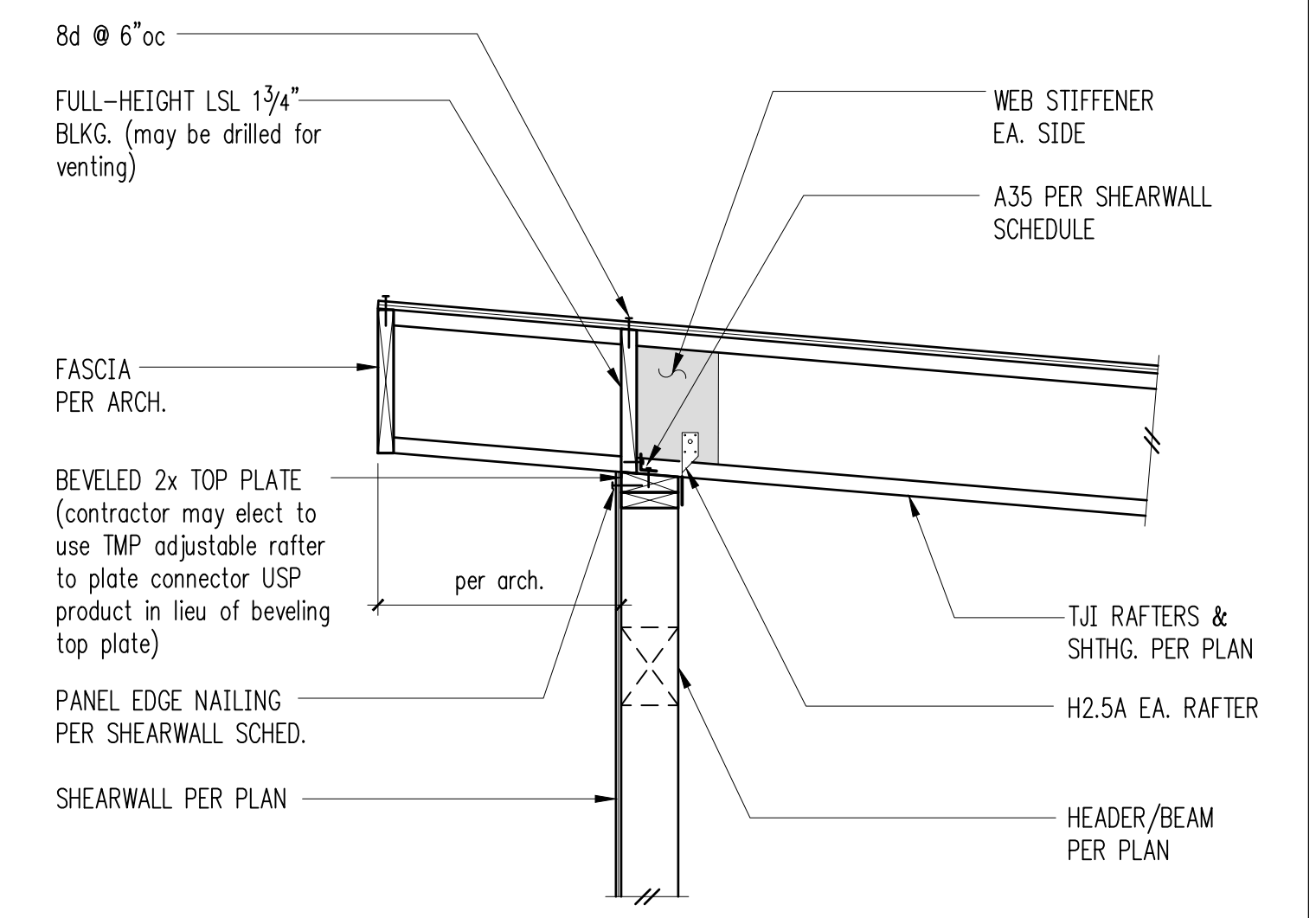
Parapet Over Door 3



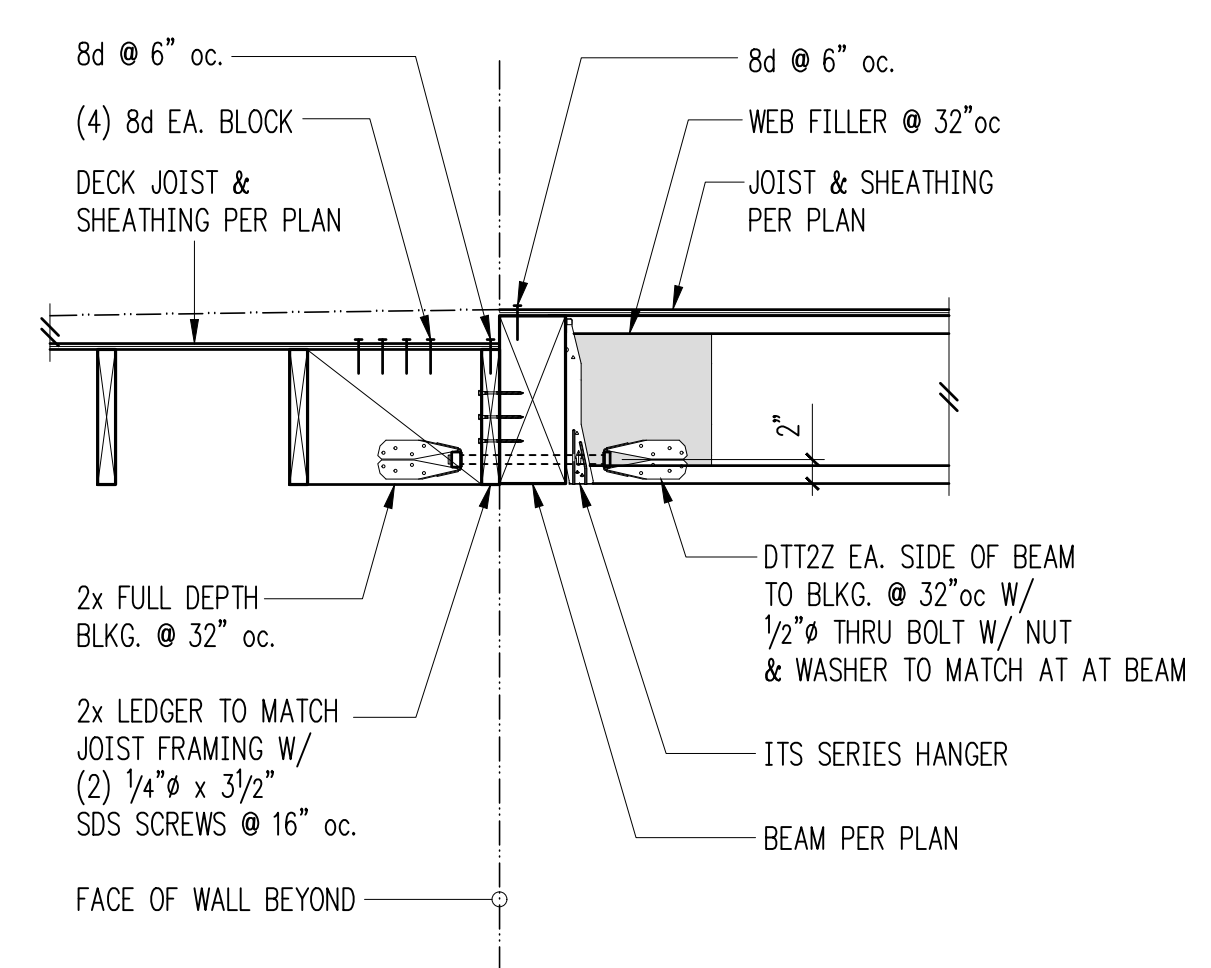
Hinge Connector 2



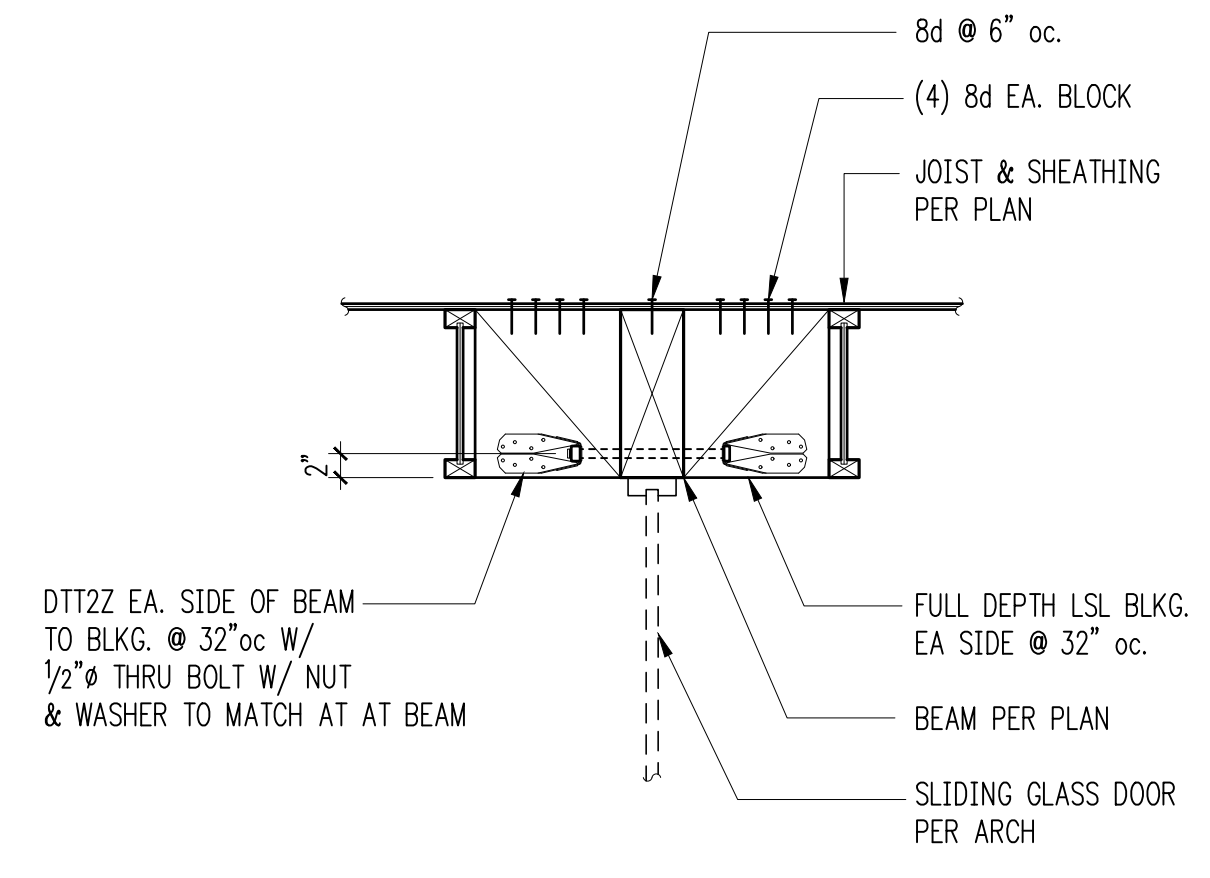
Exterior Wall at Open Floor 1



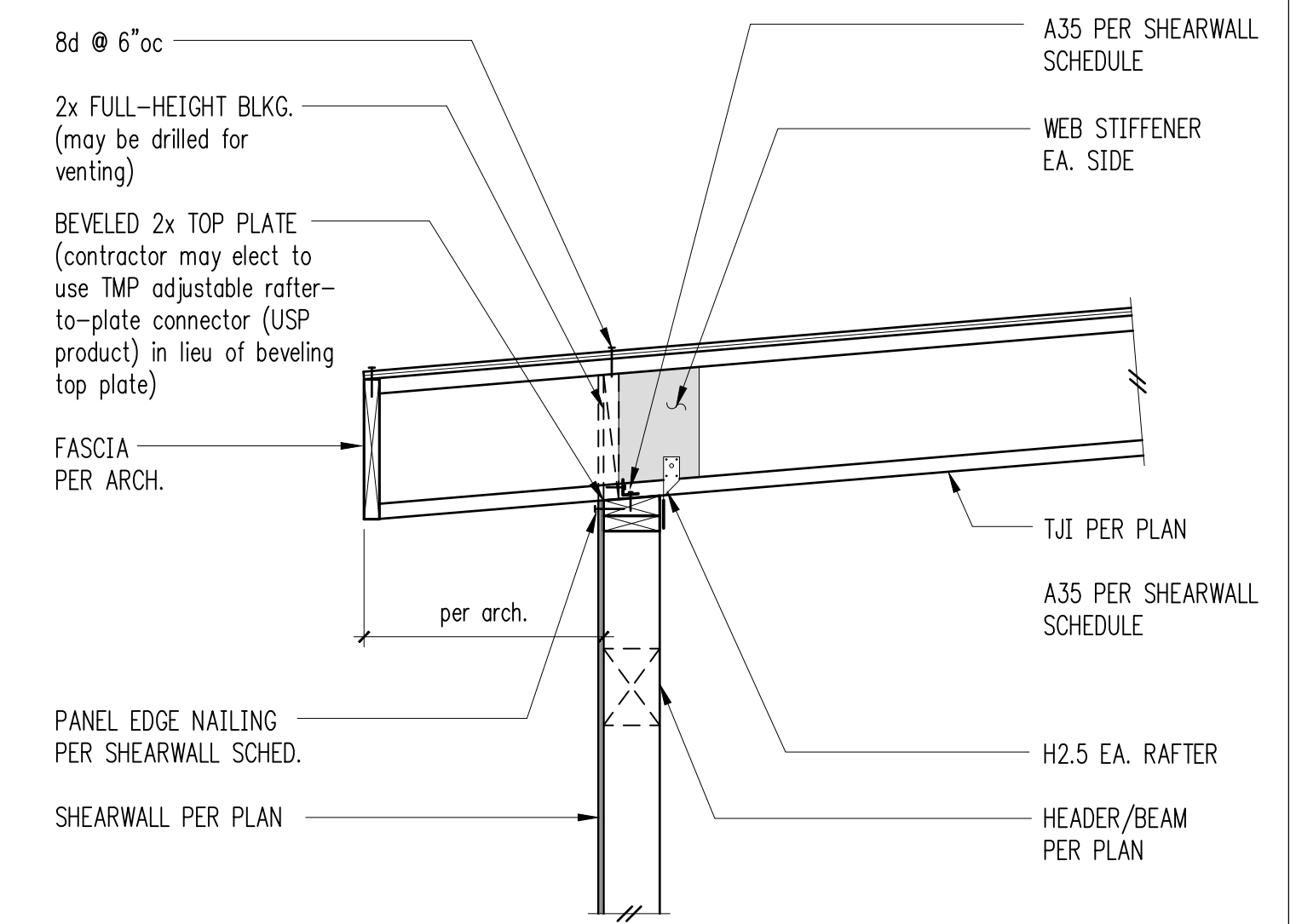
Exterior Bearing Wall 8



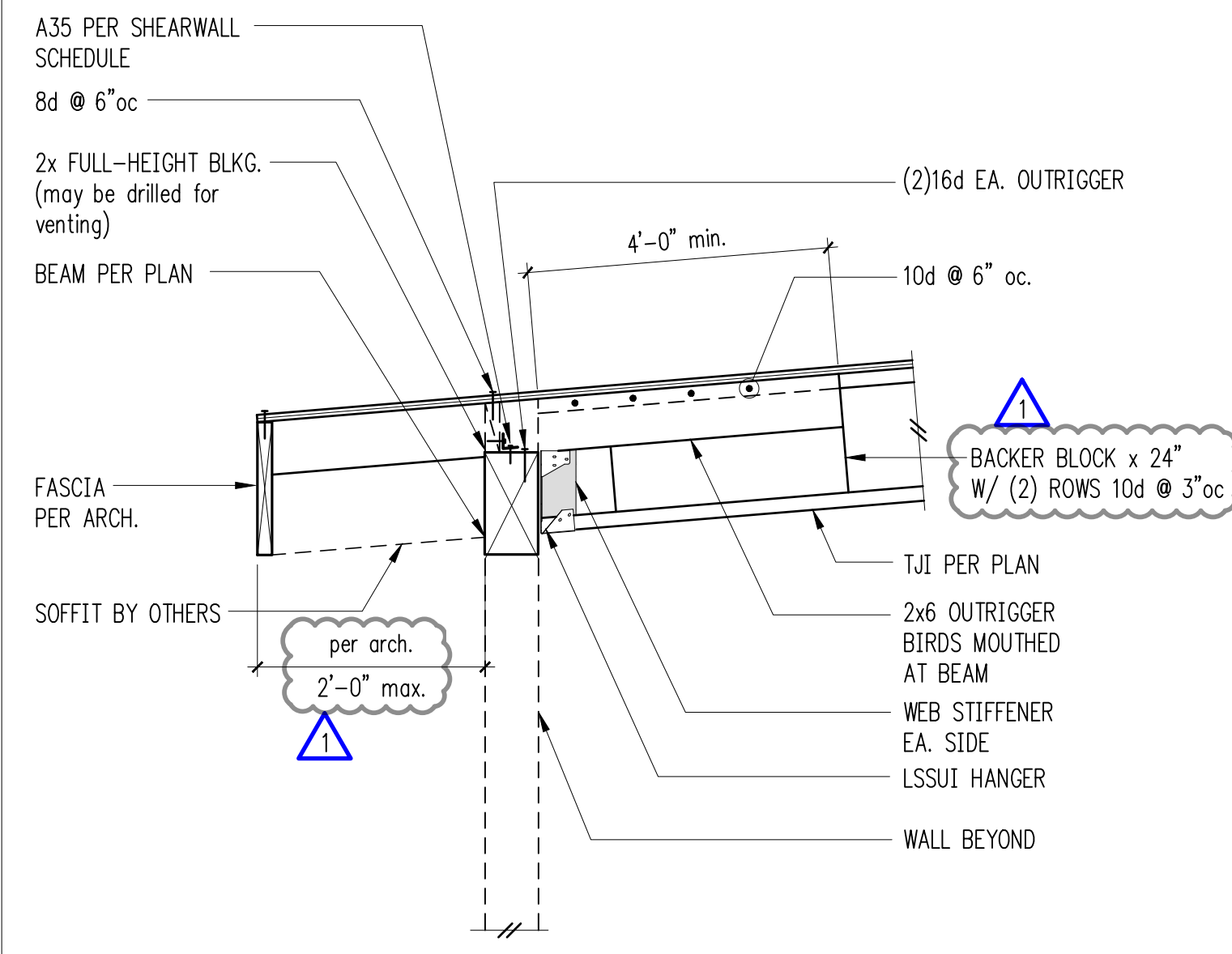
Deck/Balcony Framing 7



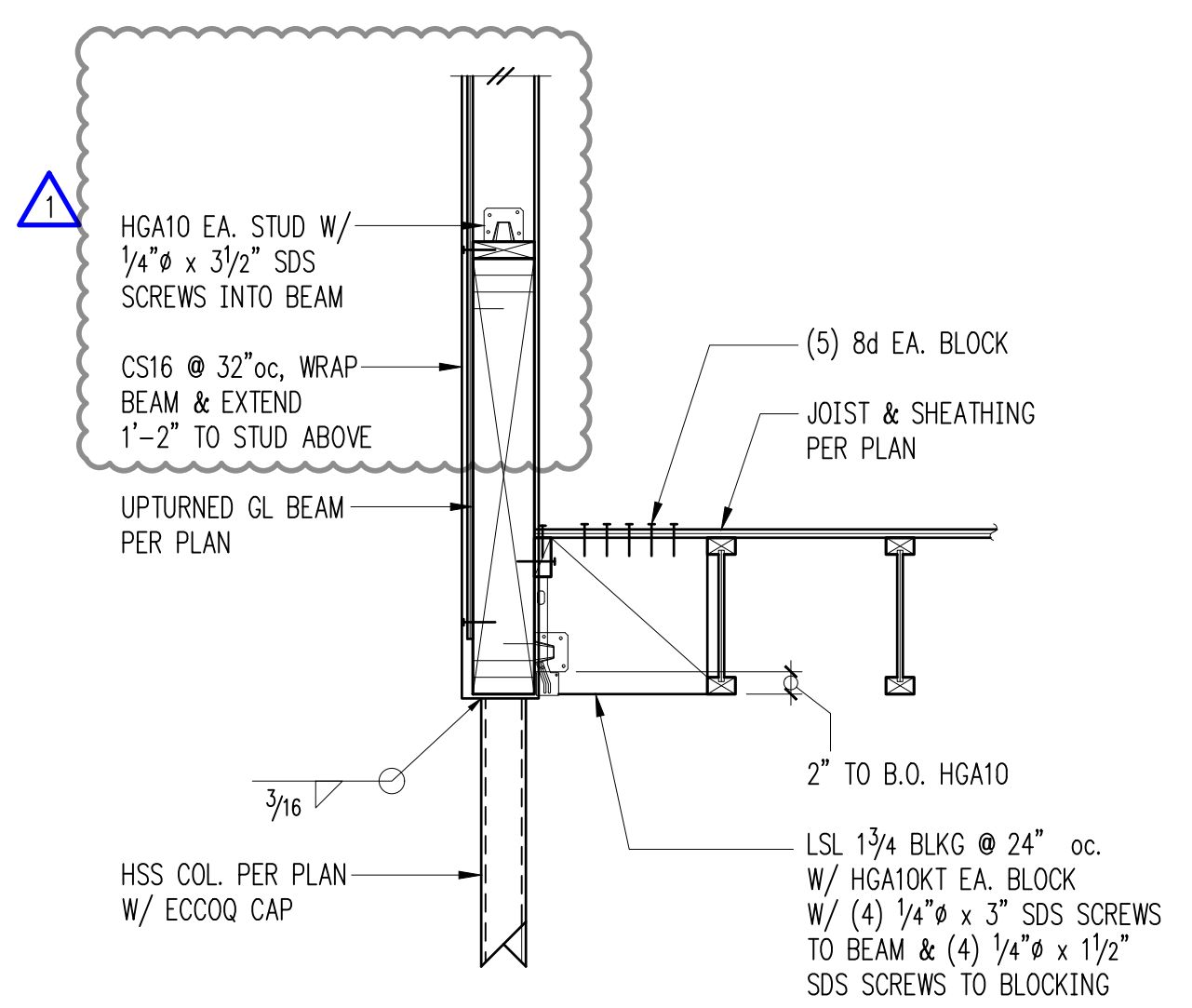
Beam Over Nana Wall 6



Exterior Bearing Wall 12

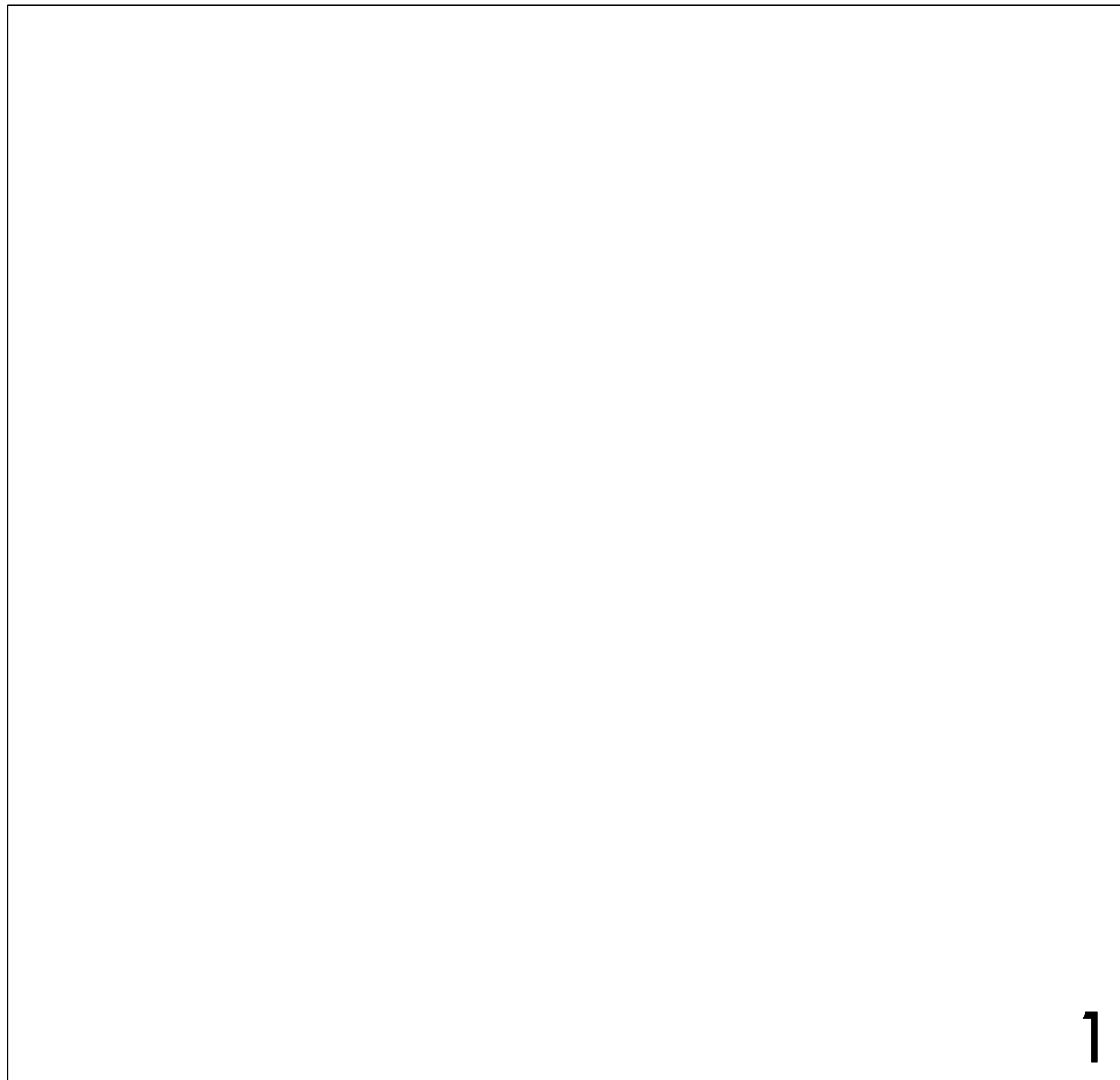


Exterior Wall at Opening 11



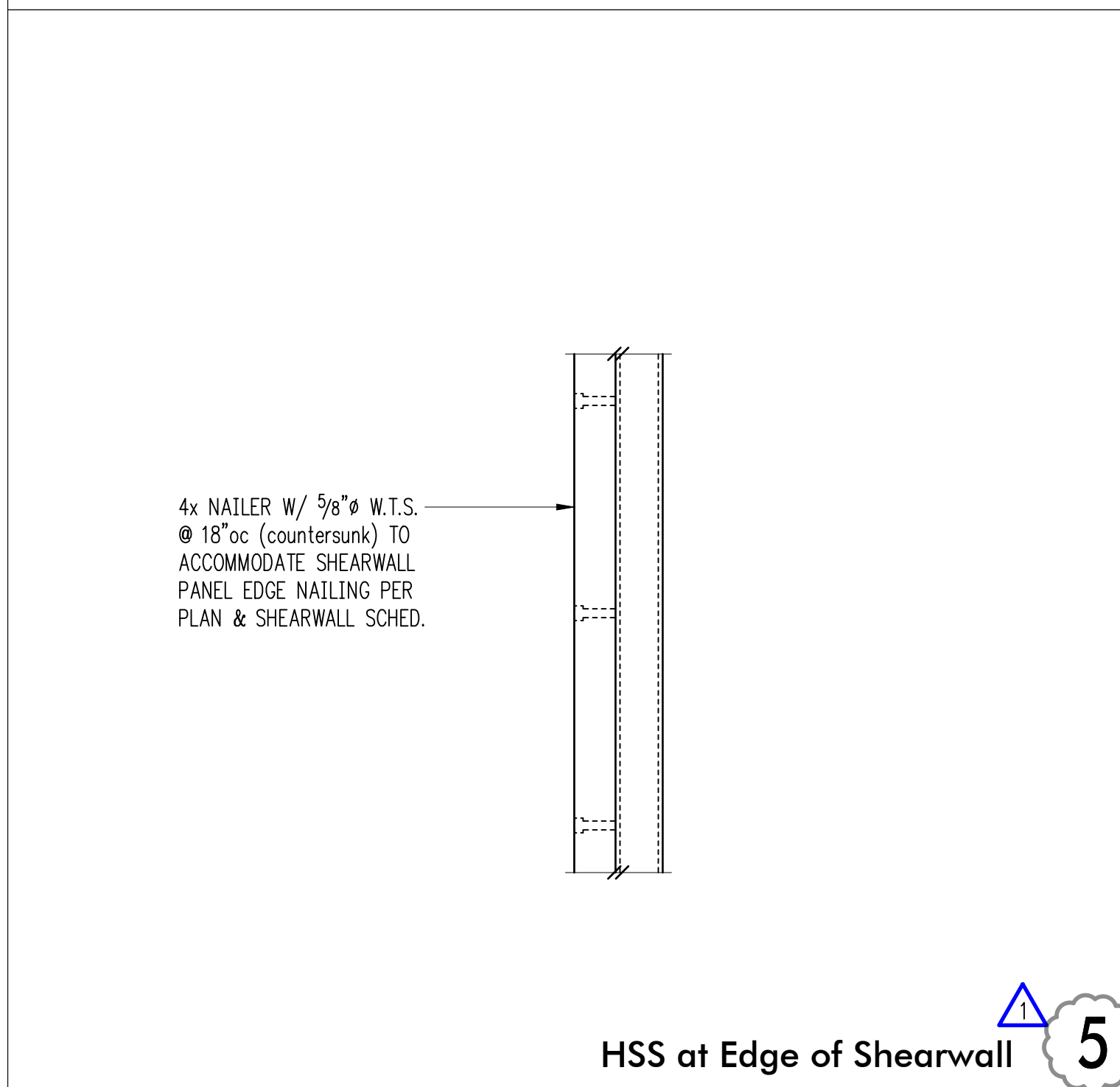
Upturned Beam 10

5



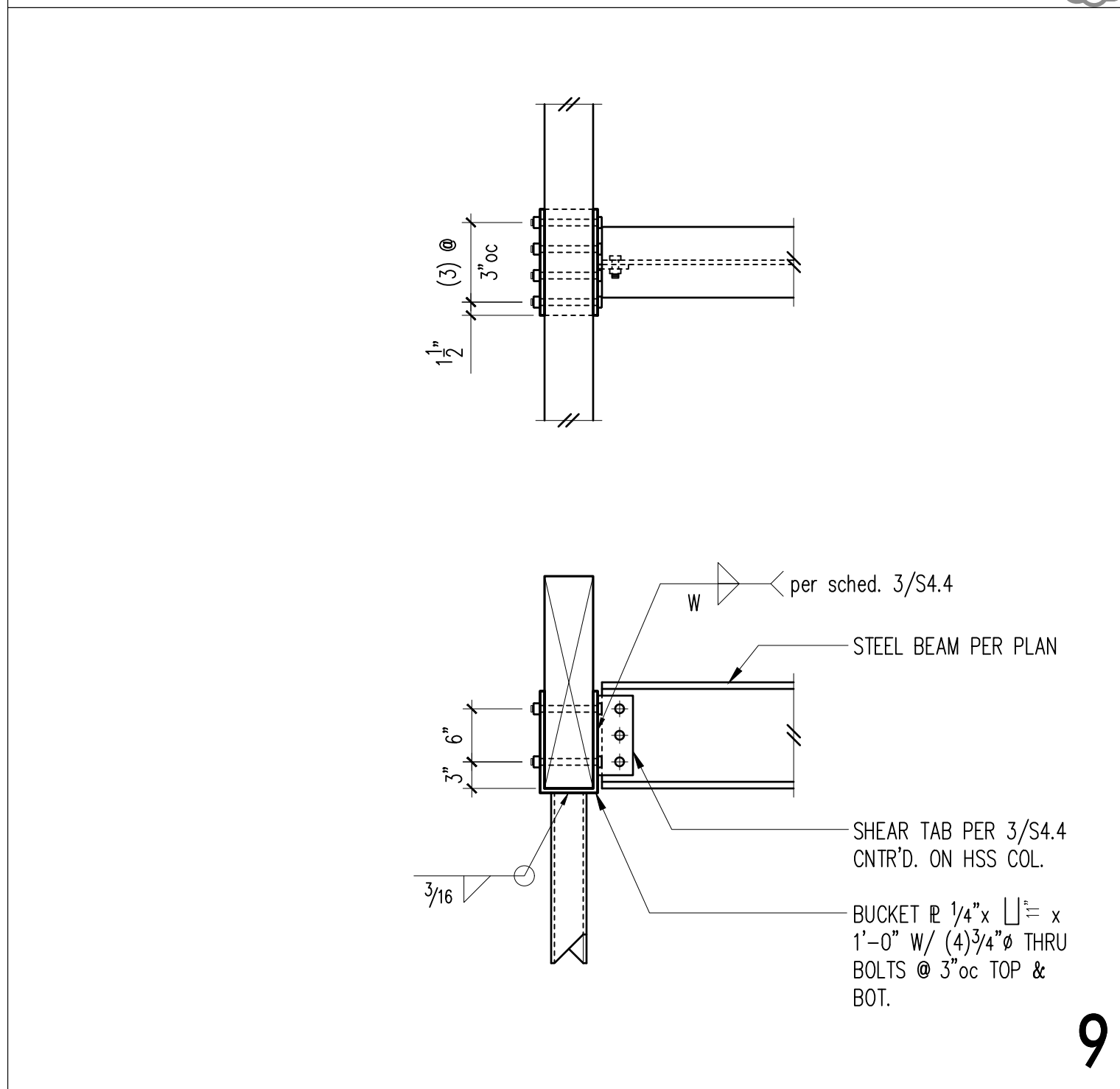
1

Joists Hung from Steel Beam



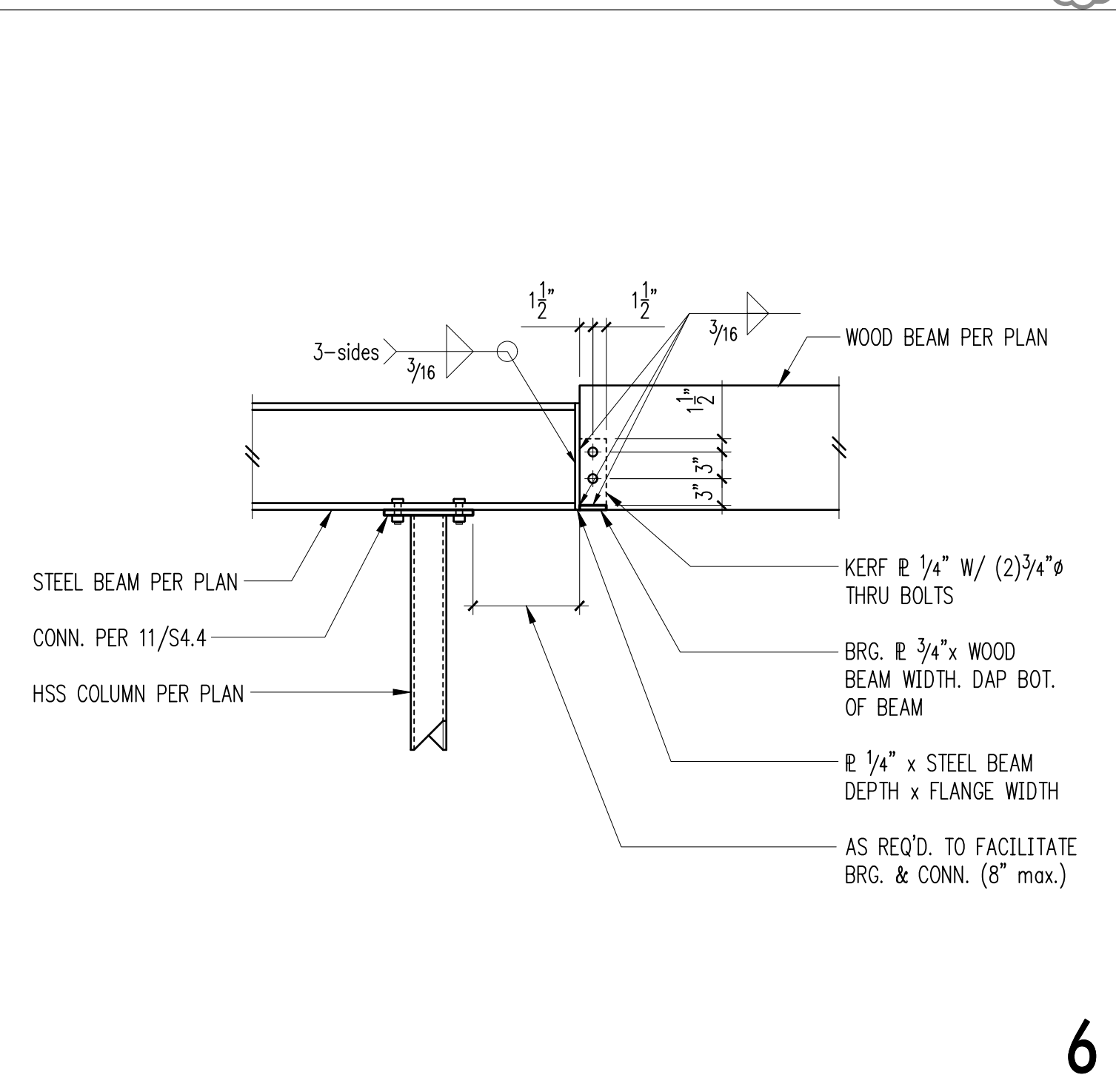
5

HSS at Edge of Shearwall



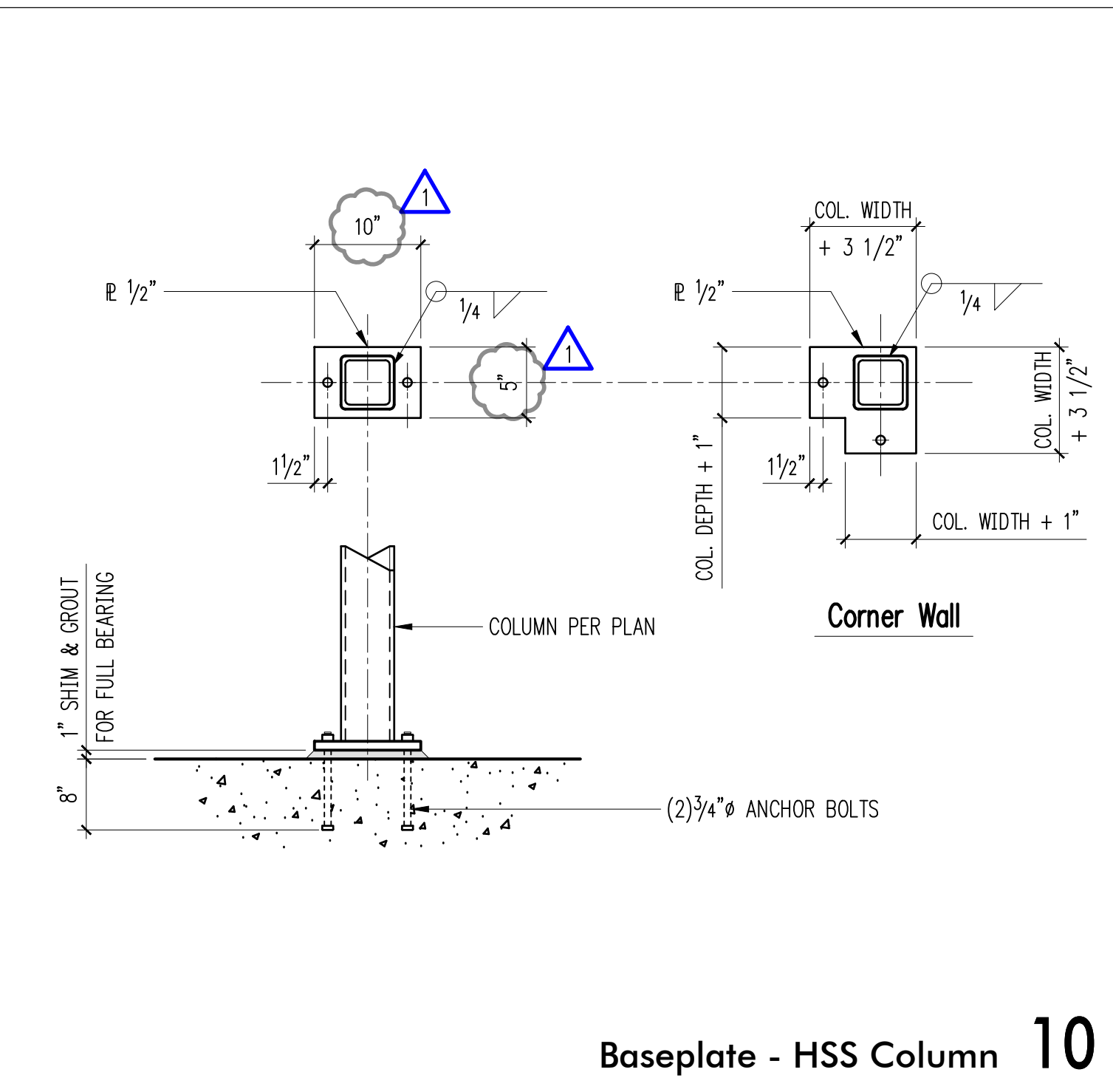
9

Baseplate - HSS Column



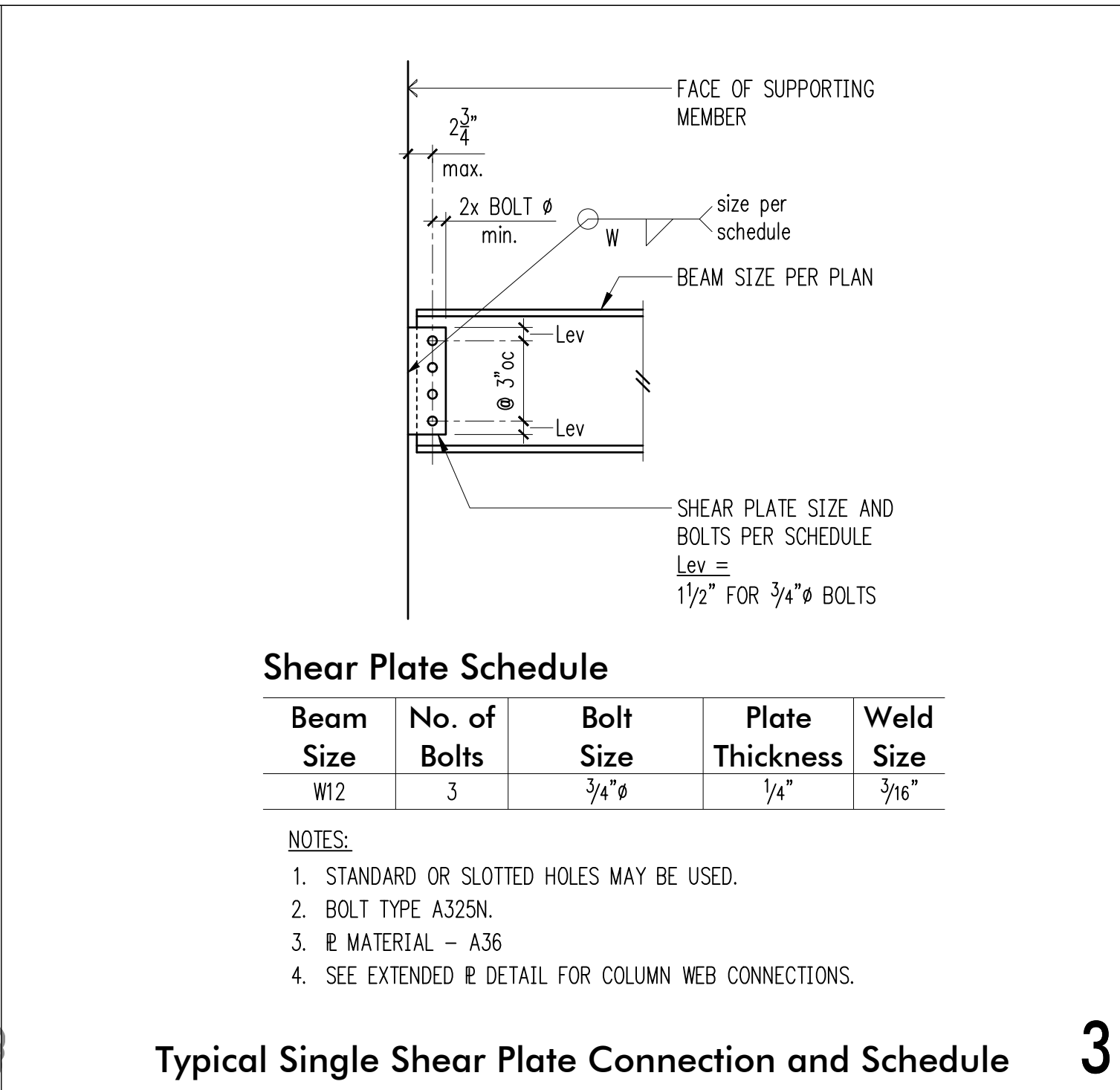
6

CC/CCQ Series Connection at Steel Column



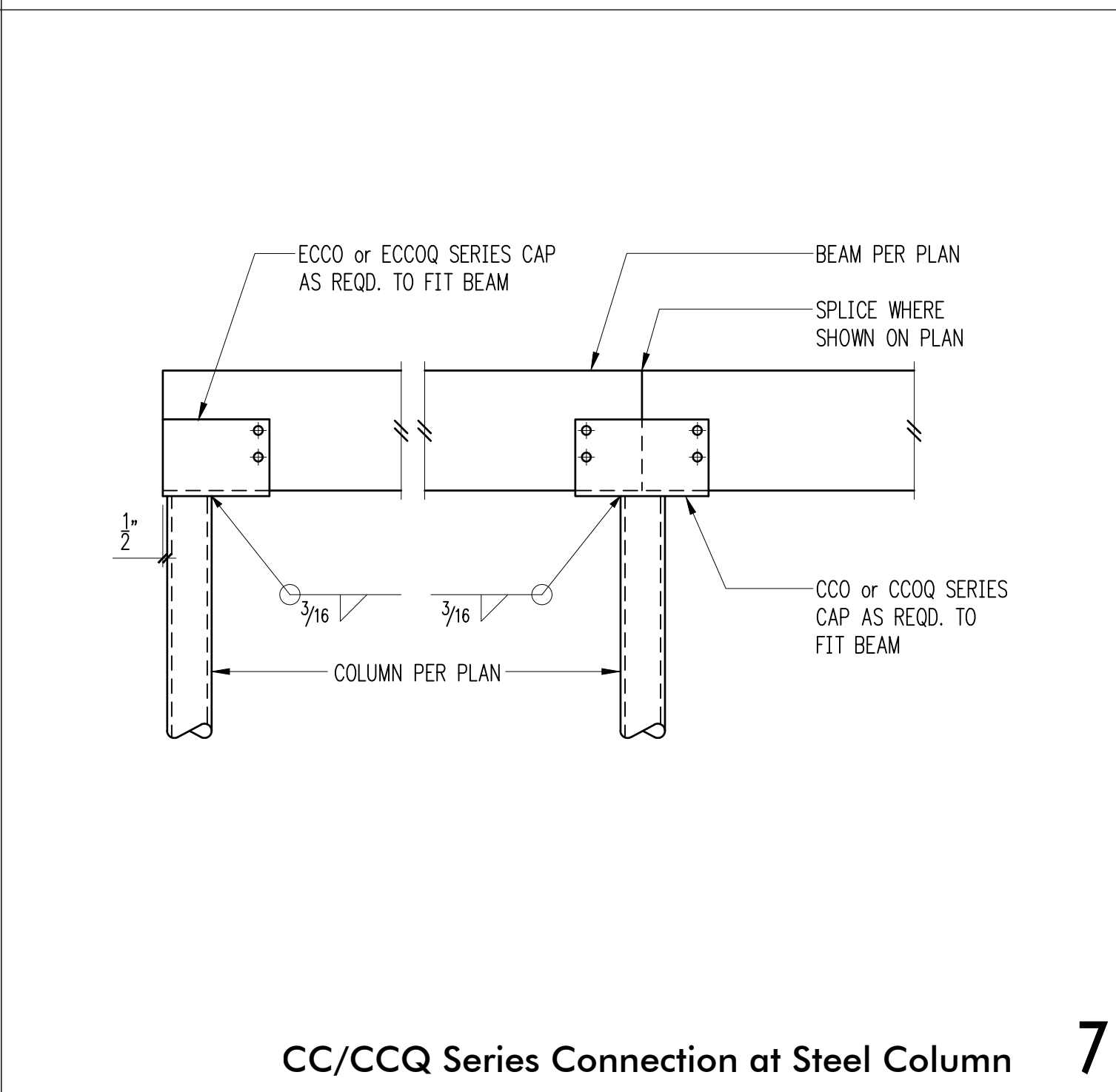
10

Typical Beam Bearing on HSS or Pipe Column



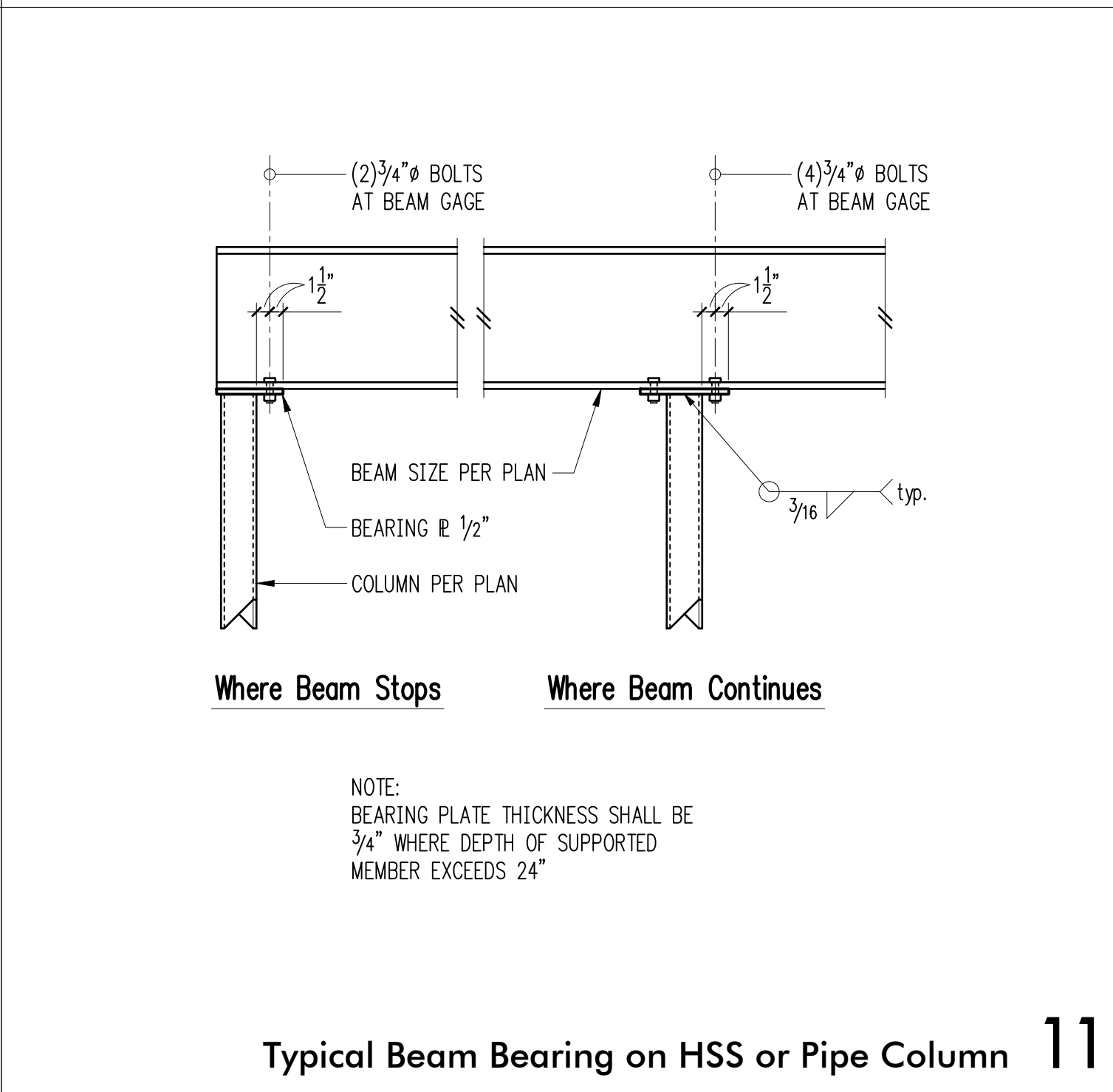
3

Typical Single Shear Plate Connection and Schedule



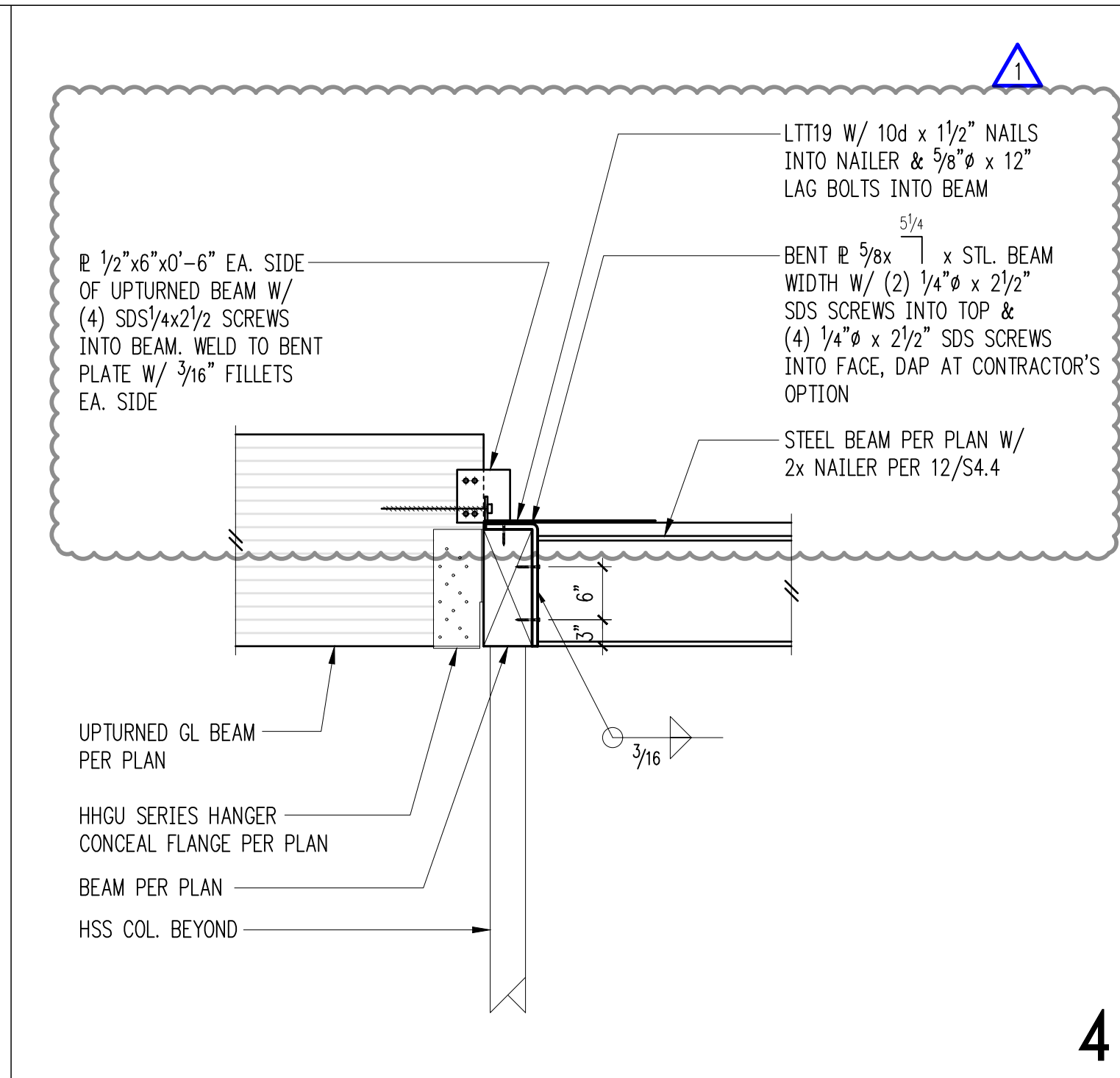
7

Steel Beam (w/TJI) Parallel to Framing



11

Joists Hung from Steel Beam



4

SSF STRUCTURAL ENGINEERING
 2124 Third Avenue - Suite 100 - Seattle, WA 98121
 p: 206.443.6212 sseengineers.com
 934 Broadway - Tacoma, WA 98402
 p: 253.284.9470 sseengineers.com
 Copyright 2018 Swenson Say Fajét - All Rights Reserved

PROFESSIONAL ENGINEER
 8/6/19

DRAWN: SJB
 DESIGN: RJA
 CHECKED: RJA
 APPROVED: ABB

REVISIONS:
 1 Permit Response Aug. 6, 2019

PROJECT TITLE:
 Paek Residence
 2215 80th Ave SE
 Mercer Island, WA 98040

ARCHITECT:
 MZA Architecture
 600 108th Ave NE, Suite 108
 Bellevue, WA 98004
 PH 425.559.7888

ISSUE:
 Permit

SHEET TITLE:
 Wood Framing Sections & Details

SCALE:
 3/4 = 1'-0" U.N.O.

DATE:
 Sept. 4, 2018

PROJECT NO:
 10604-2018-01-00

SHEET NO:

S4.4